

HISTORIC AND DESIGN REVIEW COMMISSION

May 18, 2022

HDRC CASE NO: 2022-259
ADDRESS: 200 E GRAYSON ST
LEGAL DESCRIPTION: NCB 14164 BLK 1 LOT 9 1.434 AC (PEARL BREWERY DEVELOPMENT UT-1A)
ZONING: IDZ, RIO-2
CITY COUNCIL DIST.: 1
APPLICANT: Brian Bedrosian/baldrigeARCHITECTS
OWNER: RIO PERLA PROPERTIES LP
TYPE OF WORK: Construction of an addition, site work
APPLICATION RECEIVED: April 27, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Infill exiting window openings and an existing porte cochere/brick colonnade with reclaimed brick.
2. Relocate the existing fire stair to the east façade and construct a 750 square feet addition to feature a plaster façade wrapped in mesh panels for vine growth.
3. Install a new steel trellis structure within the adjacent courtyard.

APPLICABLE CITATIONS:

UDC Section 35-674.01. - Building Design Principles in RIOs 1 through 6.

This section provides policies and standards for the design of commercial, multi-family developments in excess of eight (8) units, and single-family developments in excess of five (5) units or five (5) acres, institutional developments, and industrial buildings within the river improvement overlay districts. In general, principles focus on promoting buildings that will be compatible in scale and appear to "fit" in the community by using materials and forms that are part of the San Antonio design traditions. The policies and standards also promote designs that enhance the streets in the area, as well as the Riverwalk, as places for pedestrians. As such, the policies and guidelines address only broad-scale topics and do not dictate specific design solutions, architectural styles, or details with the exception that the standards for "RIO-3" contain more specific requirements.

- (a) **Architectural Character.** A basic objective for architectural design in the river improvement overlay districts is to encourage the reuse of existing buildings and construction of new, innovative designs that enhance the area, and help to establish distinct identities for each of the zone districts. At the same time, these new buildings should reinforce established building traditions and respect the contexts of neighborhoods. When a new building is constructed, it shall be designed in a manner that reinforces the basic character-defining features of the area. Such features include the way in which a building is located on its site, the manner in which it faces the street and its orientation to the river. When these design variables are arranged in a new building to be similar to those seen traditionally, visual compatibility results.
- (b) **Mass and Scale.** A building shall appear to have a "human scale." In general, this scale can be accomplished by using familiar forms and elements interpreted in human dimensions. Exterior wall designs shall help pedestrians establish a sense of scale with relation to each building. Articulating the number of floors in a building can help to establish a building's scale, for example, and prevent larger buildings from dwarfing the pedestrian.
 - (1) Express facade components in ways that will help to establish building scale.
 - A. Treatment of architectural facades shall contain a discernable pattern of mass to void, or windows and doors to solid mass. Openings shall appear in a regular pattern, or be clustered to form a cohesive design. Architectural elements such as columns, lintels, sills, canopies, windows and doors should align with other architectural features on the adjacent facades.
 - (2) Align horizontal building elements with others in the blockface to establish building scale.

- A. Align at least one (1) horizontal building element with another horizontal building element on the same block face. It will be considered to be within alignment if it is within three (3) feet, measured vertically, of the existing architectural element.
- (3) Express the distinction between upper and lower floors.
 - A. Develop the first floor as primarily transparent. The building facade facing a major street shall have at least fifty (50) percent of the street level facade area devoted to display windows and/or windows affording some view into the interior areas. Multi-family residential buildings with no retail or office space are exempt from this requirement.
- (4) Where a building facade faces the street or river and exceeds the maximum facade length allowed in Table 674-1 divide the facade of building into modules that express traditional dimensions.
 - A. The maximum length of an individual wall plane that faces a street or the river shall be as shown in Table 674-1.
 - B. If a building wall plane facing the street or river and exceeds the length allowed in Table 674-1, employ at least two (2) of the following techniques to reduce the perceived mass:
 - Change materials with each building module to reduce its perceived mass; or
 - Change the height with each building module of a wall plane. The change in height shall be at least ten (10) percent of the vertical height; or
 - Change the roof form of each building module to help express the different modules of the building mass; or
 - Change the arrangement of windows and other facade articulation features, such as, columns, pilasters or strap work, which divides large planes into smaller components.
- (5) Organize the Mass of a Building to Provide Solar Access to the River. (see Figure 674-1).
 - A. One (1) method of doing so is to step the building down toward the river to meet the solar access requirements of subsection 35-673(a).
 - B. Another method is to set the building back from the river a distance sufficient to meet the solar access requirements of subsection 35-673(a).
- (6) Except in RIO-3, for properties greater than three (3) sides abutting the river, organize the mass of the building(s) to create a courtyard facing the river with one (1) open side to the river.
- (c) Height. Building heights vary along the river corridor, from one-story houses to high-rise hotels and apartments. This diversity of building heights is expected to continue. However, within each zone, a general similarity in building heights should be encouraged in order to help establish a sense of visual continuity. In addition, building heights shall be configured such that a comfortable human scale is established along the edges of properties and views to the river and other significant landmarks are provided while allowing the appropriate density for an area.
 - (1) The maximum building height shall be as defined in Table 674-2.
 - A. Solar access standards subsection 35-673(a), and massing standards subsection 35-674(b) also will affect building heights.
 - (2) Organize the mass of the building to step back from established residential neighborhoods. Where a commercial, mixed-use residential, multi-family or industrial use abuts a single-family residential development, or is across the street from a single-family residential development, the following standards shall apply:

The massing of the building shall not exceed twenty-five (25) feet in height at the setback line. The building mass can continue upward within a forty-five-degree building envelope for a distance of fifty (50) feet measured horizontally from the building face, at which point the building massing may continue vertically to the height established in subsection 35-674(c).
 - (3) On the street-side, the building facade shall appear similar in height to those of other buildings found traditionally in the area.

If fifty (50) percent of the building facades within a block face are predominantly lower than the maximum height allowed, the new building facade on the street-side shall align with the average height of those lower buildings within the block face, or with a particular building that falls within the fifty (50) percent range. However, the remainder of the building may obtain its maximum height by stepping back fifteen (15) feet from the building face.
 - (4) Designation of a development node provides for the ability to increase the building height by fifty (50) percent from the requirements set out in article VI.
- (d) Materials and Finishes. Masonry materials are well established as primary features along the river corridor and their use should be continued. Stucco that is detailed to provide a texture and pattern, which conveys a human

scale, is also part of the tradition. In general, materials and finishes that provide a sense of human scale, reduce the perceived mass of a building and appear to blend with the natural setting of the river shall be used, especially on major structures.

- (1) Use indigenous materials and traditional building materials for primary wall surfaces. A minimum of seventy-five (75) percent of walls (excluding window fenestrations) shall be composed of the following:
 - A. Modular masonry materials including brick, stone, and rusticated masonry block, tile, terra-cotta, structural clay tile and cast stone. Concrete masonry units (CMU) are not allowed.
 - B. Other new materials that convey the texture, scale, and finish similar to traditional building materials.
 - C. Stucco and painted concrete when detailed to express visual interest and convey a sense of scale.
 - D. Painted or stained wood in a lap or shingle pattern.
- (2) The following materials are not permitted as primary building materials and may be used as a secondary material only:
 - A. Large expanses of high gloss or shiny metal panels.
 - B. Mirror glass panels. Glass curtain wall buildings are allowed in RIO-3 as long as the river and street levels comply with 35-674(d)(1) above.
- (3) Paint or Finish Colors.
 - A. Use natural colors of indigenous building materials for properties that abut the Riverwalk area.
 - B. Use matte finishes instead of high glossy finishes on wall surfaces. Wood trim and metal trim may be painted with gloss enamel.
 - C. Bright colors may highlight entrances or architectural features.
- (e) Facade Composition. Traditionally, many commercial and multi-family buildings in the core of San Antonio have had facade designs that are organized into three (3) distinct segments: First, a "base" exists, which establishes a scale at the street level; second a "mid-section," or shaft is used, which may include several floors. Finally a "cap" finishes the composition. The cap may take the form of an ornamental roof form or decorative molding and may also include the top floors of the building. This organization helps to give a sense of scale to a building and its use should be encouraged.

In order to maintain the sense of scale, buildings should have the same setback as surrounding buildings so as to maintain the street-wall pattern, if clearly established.

In contrast, the traditional treatment of facades along the riverside has been more modest. This treatment is largely a result of the fact that the riverside was a utilitarian edge and was not oriented to the public. Today, even though orienting buildings to the river is a high priority objective, it is appropriate that these river-oriented facades be simpler in character than those facing the street.

- (1) Street Facade. Buildings that are taller than the street-wall (sixty (60) feet) shall be articulated at the stop of the street wall or stepped back in order to maintain the rhythm of the street wall. Buildings should be composed to include a base, a middle and a cap.
 - A. High rise buildings, more than one hundred (100) feet tall, shall terminate with a distinctive top or cap. This can be accomplished by:
 - i. Reducing the bulk of the top twenty (20) percent of the building by ten (10) percent.
 - ii. By stepping back the top twenty (20) percent of the building.
 - iii. Changing the material of the cap.
 - B. Roof forms shall be used to conceal all mechanical equipment and to add architectural interest to the structure.
 - C. Roof surfaces should include strategies to reduce heat island effects such as use of green roofs, photo voltaic panels, and/or the use of roof materials with high solar reflectivity.
- (2) Fenestration. Windows help provide a human scale and so shall be proportioned accordingly.
 - A. Windows shall be recessed at least two (2) inches within solid walls (not part of a curtain wall system).
 - B. Windows should relate in design and scale to the spaces behind them.
 - C. Windows shall be used in hierarchy to articulate important places on the facade and grouped to establish rhythms.
 - D. Curtain wall systems shall be designed with modulating features such as projecting horizontal and/or vertical mullions.
- (3) Entrances. Entrances shall be easy to find, be a special feature of the building, and be appropriately scaled.
 - A. Entrances shall be the most prominent on the street side and less prominent on the river side.
 - B. Entrances shall be placed so as to be highly visible.
 - C. The scale of the entrance is determined by the prominence of the function and or the amount of use.
 - D. Entrances shall have a change in material and/or wall plane.

- E. Entrances should not use excessive storefront systems.
- (4) Riverside facade. The riverside facade of a building shall have simpler detailing and composition than the street facade.
 - A. Architectural details such as cornices, sills, lintels, door surrounds, water tables and other similar details should use simple curves and handcrafted detailing.
 - B. Stone detailing shall be rough hewn, and chiseled faced. Smooth faced stone is not permitted as the primary building material, but can be used as accent pieces.
 - C. Facades on the riverside shall be asymmetrical, pedestrian scale, and give the appearance of the back of a building. That is, in traditional building along the river, the backs of building were designed with simpler details, and appear less formal than the street facades.
- (f) Staircases.
 - (1) Staircases to the River Level Shall be Uniquely Designed.
 - A. Stairs shall not replicate other stairs in a single project.
 - B. Stairs shall be constructed of handcrafted materials. The applicant shall use traditional building materials.
 - C. Stairs shall not exceed ten (10) feet in width.
- (g) Awnings, Canopies and Arcades. (See Figure 674-2) The tradition of sheltering sidewalks with awnings, canopies and arcades on commercial and multi-family buildings is well established in San Antonio and is a practice that should be continued. They offer shade from the hot summer sun and shelter from rainstorms, thereby facilitating pedestrian activity. They also establish a sense of scale for a building, especially at the ground level. Awnings and canopies are appropriate locations for signage. Awnings with signage shall comply with any master signage plan on file with the historic preservation officer for the property. Awnings and canopies installed at street level within the public right-of-way require licensing with the city's capital improvements management services (CIMS) department. Canopies, balconies and awnings installed at river level within the public right-of-way require licensing with the city's downtown operations department.
 - (1) If awnings, arcades and canopies are to be used they should accentuate the character-defining features of a building.
 - A. The awning, arcade or canopy shall be located in relationship to the openings of a building. That is, if there are a series of awnings or canopies, they shall be located at the window or door openings. However awnings, canopies and arcades may extend the length of building to provide shade at the first floor for the pedestrian.
 - B. Awnings, arcades and canopies shall be mounted to highlight architectural features such as moldings that may be found above the storefront.
 - C. They should match the shape of the opening.
 - D. Simple shed shapes are appropriate for rectangular openings

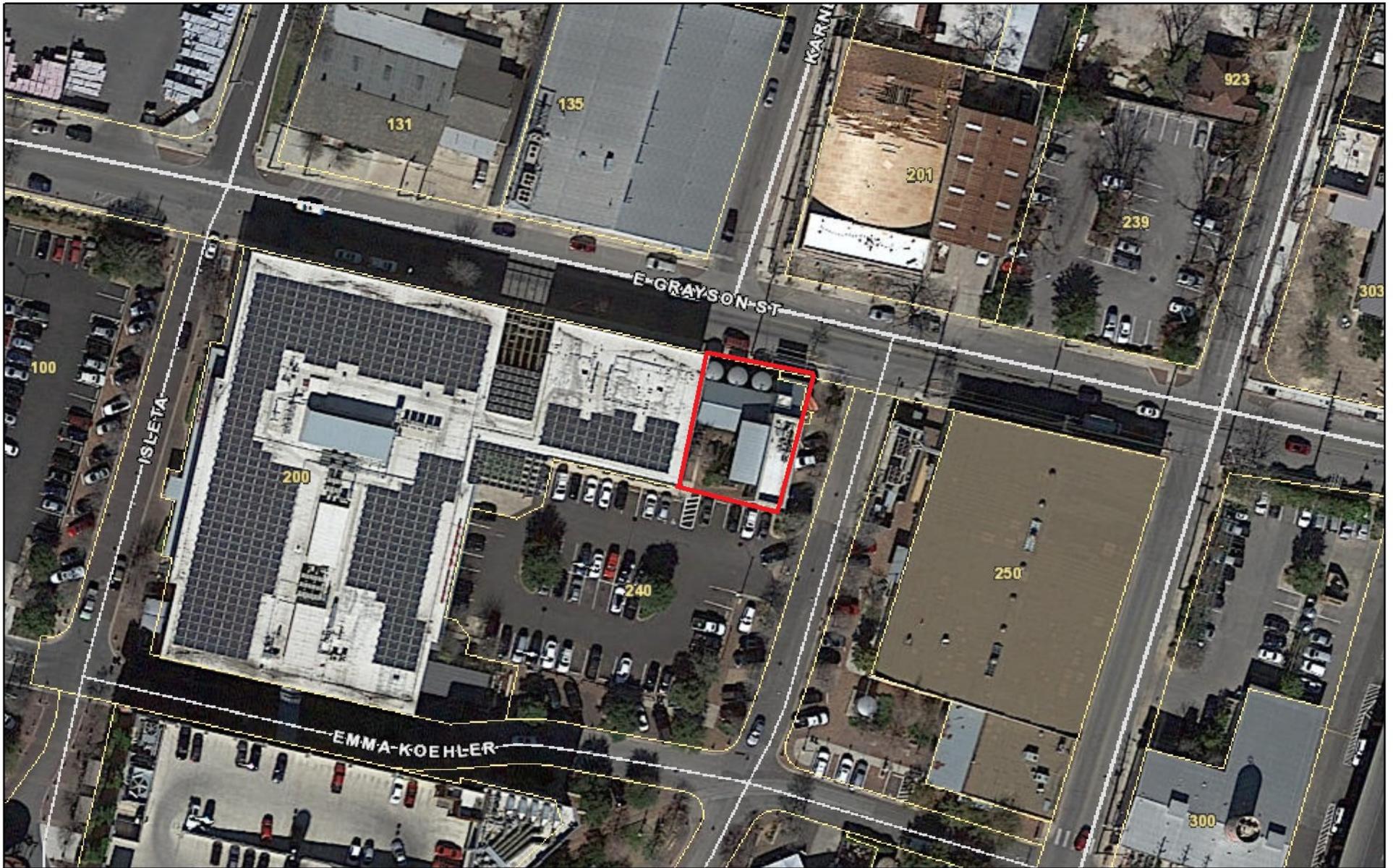
FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to perform exterior modifications to the existing structure at 200 E Grayson. The proposed modifications include infilling of existing window openings and an existing colonnade, the relocation of an exterior stair, the construction of an addition, and the construction of a steel trellis structure within the adjacent courtyard.
- b. FENESTRATION MODIFICATIONS – The applicant has proposed to infill existing window openings with brick to feature a vertical running bond. The infilled areas will feature a recess. Staff finds the proposed modifications to be appropriate.
- c. COLONNADE ENCLOSURE – The applicant has proposed to enclose an existing porte cochere/brick colonnade. Staff finds the proposed modification to be appropriate.
- d. ADDITION/FIRE STAIR RELOCATION – The applicant has proposed to relocate the existing fire stair to the east façade and construct a 750 square feet addition to feature a plaster façade wrapped in mesh panels for vine growth. Staff finds the proposed stair relocation and proposed addition to be appropriate. Staff finds that the proposed three part plaster façade beneath the proposed mesh panels will ensure an architecturally appropriate should the proposed vegetation fail.
- e. STEEL TRELLIS (Courtyard) – The applicant has proposed to install a new steel trellis structure within the adjacent, courtyard. Staff finds the proposed trellis structure to be appropriate and consistent with the surrounding design environment.

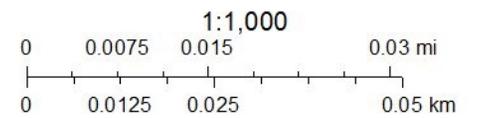
RECOMMENDATION:

Staff recommends approval as submitted based on findings a through e.

City of San Antonio One Stop



May 12, 2022



baldridgeARCHITECTS

26 April, 2022

RE: **LADINO RESTAURANT – CERTIFICATE OF APPROPRIATENESS APPLICATION**

JOB ADDRESS: 200 East Grayson Street, Suite 100, San Antonio, TX

JOB NAME: **LADINO**

Description of work:

This application is for the new LADINO restaurant at 200 East Grayson Street, Suite 100 in San Antonio TX, former home of Il Sogno.

The building is located at the intersection of Grayson and Karnes in the north-east corner of the Full Goods Development. The existing masonry building and steel framed gabled roof building are to remain and a new 750 sqft addition to the north side of the building, enclosing the existing elevator core and occupying the site of the existing fire stair, is proposed to house prep space and a new walk-in cooler. The porte cochere at the front of the building is to be enclosed to house additional interior space, and a new trellis structure will cover the existing courtyard space.

The exterior of the building is to be remodeled to accentuate details that are endemic to the existing building and/or the Pearl Campus:

1. **Brick Infill Cladding:** The first floor bays on the southern half of the masonry building that are currently infilled with aluminum storefront will be rebuilt as masonry walls with brick to match the rest of the building. These bays will feature double inset semi-circular arches with a soldier course on the outside of the arches at the spring point. The panels above the arches will be clad in a sawtooth brick, below the soldier course the brick will be laid in the running bond pattern typical of the building. Within the arches, the brick will be installed in a vertical running bond pattern, suggesting a window bay that was later infilled. This detailing references long demolished buildings that influenced this building a



decade ago, as well as the detailing on other Pearl building such as the Stable, Hotel Emma, and the Bottling Department. This same infill strategy is proposed for the bays that once contained the porte cochere where new stem walls will be constructed to further match the existing building language. A larger, more formal 3 layer arch is proposed for the southern façade.

2. **Addition:** The existing fire stair will be removed and a new stair installed along the eastern façade of the masonry building. In its place will be a new 750 addition which will house the back of house functions of the restaurant, including a new larger walk-in cooler. The building will have a plastered skin wrapped in mesh panels that are similar to those that previously clad this volume and are prevalent around campus. Ultimately this volume is intended to be covered in vines as was its predecessor and serve as a backdrop for the PEARL WELCOME sign.
3. **Courtyard:** The main entrance of the restaurant will be moved to the courtyard for a more European style entry where guests are greeted outside at a new host stand clad in a handmade tile and featuring the name of the restaurant. A new steel trellis will be installed that covers the courtyard, providing additional shade and a support for new lights, fans, and heaters which will extend the usable season of the patio. This trellis will feature inverted angle louvers and will reference the new trellis proposed for the adjacent 1100 Springs Park which it will abut. A new bench will be added against the concrete wall to the west to provide additional seating opportunities.
4. **Landscaping:** The scope of work for this project stops at the building façade. All landscaping and additional site work are permitted as part of the 1100 Springs Park project and being completed by Don B McDonald Architects and Word Carr Landscape Design.

The work on the building exterior is largely complete, though the landscape work and re-construction of Karnes have not yet begun. The submitted drawings are from the original permit submittal to the City of San Antonio a year ago today. The site plan, attached separately, is the same site plan that was submitted with the CoA for the monument sign, submitted two weeks back.

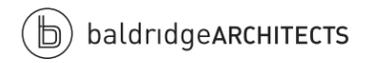
Thanks in advance for your consideration of this project, please feel free to reach out if you need any further clarification or additional documentation.

Brian Bedrosian
Principal
baldridgeARCHITECTS
(512) 382-0312
brian@baldridge-architects.com



LADINO HDRC COA PACKET | EXISTING BUILDING PHOTOS

APRIL 26, 2022





IL SOGNO | EAST FACADE



IL SOGNO | NORTH FACADE 1



IL SOGNO | NORTH FACADE 2

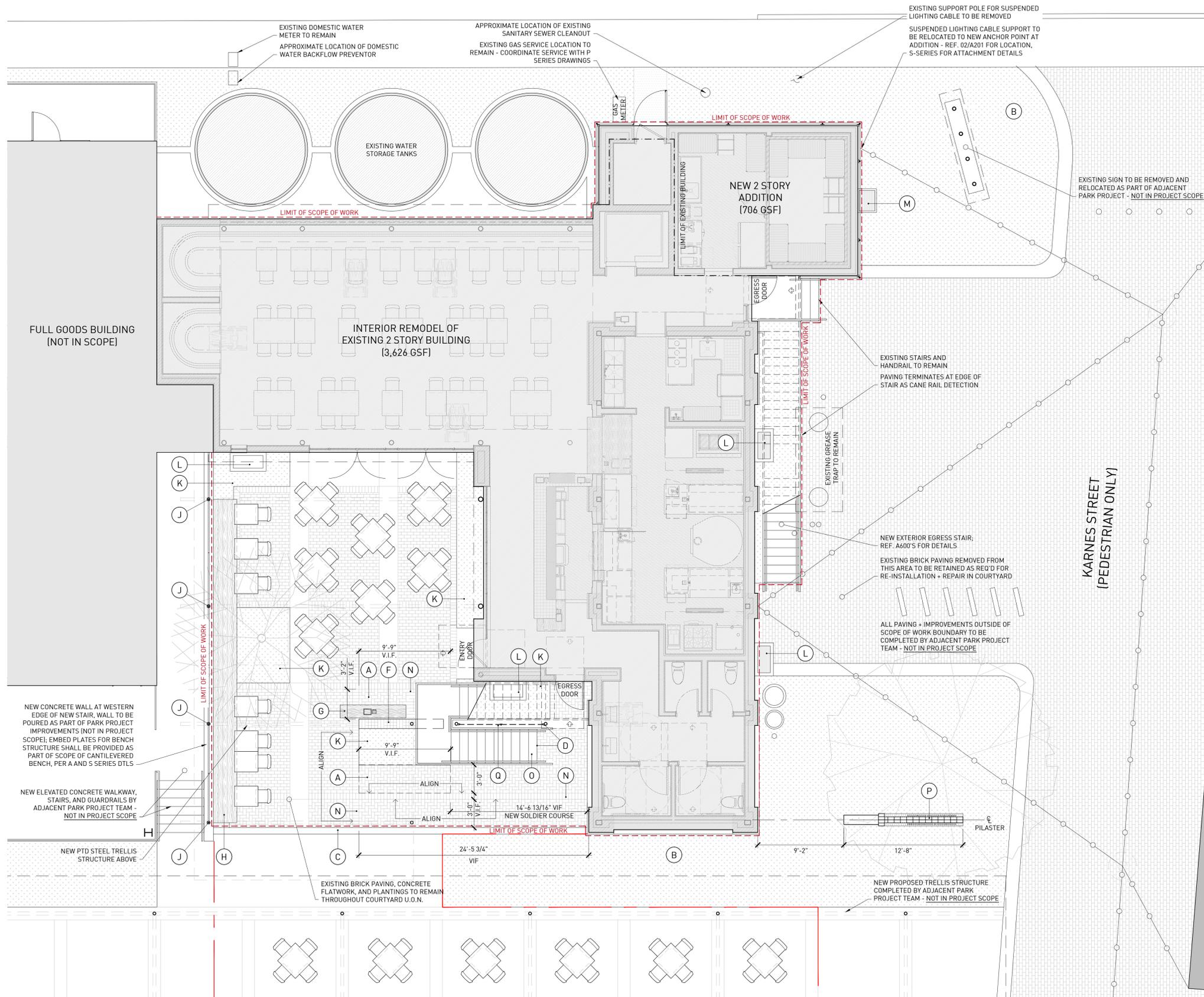


IL SOGNO | SOUTH FACADE



IL SOGNO | WEST FACADE

E. GRAYSON STREET



GENERAL NOTES

1. ALL CONFLICTS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PERFORMING WORK
2. DO NOT SCALE DRAWINGS. ANY MEASUREMENTS NOT SPECIFICALLY CALLED OUT IN THESE DRAWINGS TO BE PROVIDED BY ARCHITECT UPON REQUEST. DIMENSIONS SHOWN SHALL GOVERN LOCATION, SIZES, ETC. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE. CONSULT ARCHITECT IF CONFLICT OR QUESTIONS ARISE.
3. ALL DIMENSIONS ARE STRUNG FROM FACE OF FINISH OR STRUCTURAL ELEMENT, UNLESS NOTED OTHERWISE.
4. ALL BUILDING ELEVATIONS ARE RELATIVE TO THE FINISHED INTERIOR FLOOR SET AT 100'-0". U.O.N. CONTRACTOR SHALL IDENTIFY A BENCHMARK ON SITE FOR ALL EXTERIOR AND LANDSCAPE DIMENSIONS RELATIVE TO SAID FLOOR ELEVATION.
5. ALL GLOBAL ELEVATIONS PROVIDED ARE RELATIVE TO A BENCHMARK SET BY THE FINISHED FLOOR HEIGHT OF FIRST FLOOR SLAB. CONTRACTOR AND ARCHITECT TO ESTABLISH COMMON ELEVATION AND IDENTIFY LOCATION OF BENCHMARK ON SITE AS REQUIRED FOR CLARITY.
6. ALL TOPOGRAPHY DEPICTED IN THIS DRAWING INTENDED TO CONVEY ARCHITECTURAL INTENT REGARDING PLACEMENT AND ELEVATION OF BUILDING RELATIVE TO THE SURROUNDING NATURAL AND AMENDED GRADE. FOR ALL DRAINAGE, ROADWAY ROUTING, AND IRRIGATION / WATERWAYS - REF. CIVIL ENGINEERING DRAWINGS.

DRAWING LEGEND

BRICK PAVING	
BRICK PAVING (HERRINGBONE)	
PLANTING	
GRAVEL	
CONCRETE PAVING	

DRAWING NOTES

- A. PORTION OF EXISTING PLANTER TO BE INFILLED WITH SALVAGED EXISTING HERRINGBONE BRICK PAVING. LAYOUT, EDGE DETAILING, AND INSTALLATION TO MATCH EXISTING CONDITION
- B. NEW PLANTING BED ADJACENT TO BUILDING TO BE COMPLETED AS PART OF PARK PROJECT SCOPE - REF. WORD CARR DRAWINGS FOR THESE DETAILS
- C. EXISTING CONCRETE CURB TO REMAIN OR BE REPLACED BY PARK PROJECT (NOT IN PROJECT SCOPE) - NEW PAVING BY ADJACENT PARK PROJECT ALIGNS WITH T.O. CURB AT THIS LOCATION
- D. EXISTING STAIR AND SCREEN WALL TO REMAIN, AND BE REPAINTED; METAL 01
- F. NEW TILED CMU WALL AT EXISTING FOOTING LOCATION WITH ILLUMINATED SIGNAGE. REF. A-100 FOR DIMENSIONS, S-SERIES FOR DETAILS, A835 FOR DTLs; CONCRETE 03
- G. NEW WOOD HOST STAND CANTILEVERED OFF FACE OF NEW TILED WALL. REF. A835 FOR DTLs
- H. NEW CANTILEVERED WOOD BENCH WITH CONCEALED STEEL SUPPORTS, OLD PLANTER SPACE BELOW TO BE INFILLED WITH PAVERS TO MATCH EXISTING PAVER SPECS AND DETAILS OF EXISTING PATIO; WOOD 01, METAL 01
- J. NEW PTD STEEL PIPE COLUMNS FOR TRELLIS STRUCTURE SUPPORTED ON ADJACENT ELEVATED WALKWAY BY OTHERS - COORDINATE INSTALLATION WITH ADJACENT PROJECT SCOPE
- K. EXISTING PLANTER BED TO REMAIN, COVER WITH MIN 2" APPROVED MULCH - ALL PLANTING BEDS TO BE CONNECTED TO NEW PARK IRRIGATION SYSTEM
- L. EXISTING CRAWLSPACE VENT TO REMAIN
- M. NEW CRAWLSPACE VENT / ACCESS WELL PER S SERIES DTLs
- N. PORTION OF NEW SOLDIER COURSE PAVERS INSTALLED TO CONTINUE EXISTING AS SHOWN
- O. REMOVE ALL PAVING BELOW STAIR TO EXTEND EXISTING PLANTER AND SERVE AS T&S REQ'D CANE DETECTION. RETAIN PAVERS FOR REUSE ON OTHER PORTIONS OF PROJECT
- P. PROPOSED NEW CONCRETE, TILE AND BRICK MONUMENT SIGN, REF. A836 FOR ADDITIONAL DETAILS
- Q. NEW BAR SIGNAGE LOCATED ON FACE OF EXISTING SCREEN WALL, REF. A836 FOR ADDITIONAL DETAILS

notes:

revision:

- 210426 ISSUE FOR PERMIT
- 210520 PERMIT REVISION 01
- 210527 100% CD PRICING
- 210709 IFC
- 211130 ASI #01
- 220411 HDRC SIGN SUBMITTAL

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/11/2022

SITE PLAN

date plotted: 11 APRIL, 2022
scale: 3/16"=1'-0"

A-002



LADINO HDRC COA PACKET | MATERIALS

APRIL 26, 2022



RECLAIMED CHICAGO BRICK
TO MATCH MODULAR BRICK OF
EXISTING BUILDING



CONCRETE
NEW CONCRETE FINISHED TO
MATCH CONCRETE AT EXISTING
BUILDING



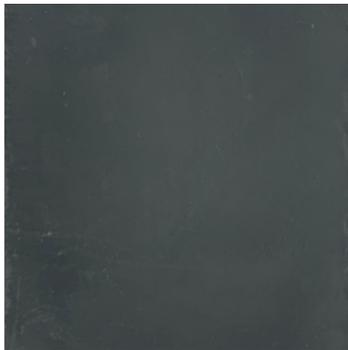
STUCCO + MESH PANELS
BENJAMIN MOORE WHALE GREY
2134-40 COLORED PLASTER +
SHERWIN WILLIAMS URBANE
BRONZE FINISHED STEEL



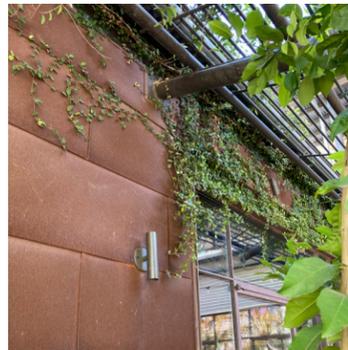
ZELLIGE TILE
2" X 6" X 3/4" TEA CEREMONY
BEJMAT FORMAT TILE



**EXTERIOR PAINTED STEEL
STRUCTURE + MESH PANELS**
SHERWIN WILLIAMS URBANE
BRONZE FINISH



EXTERIOR PLASTER
BENJAMIN MOORE WHALE GREY
2134-40 COLORED PLASTER



WEATHERING STEEL
EXISTING TO REMAIN WEATHERING
STEEL ON COURTYARD SIDE OF
BUILDING



EXISTING PEARL WELCOME SIGN TO REMAIN

NEW PAINTED STEEL FIRE EGRESS STAIR

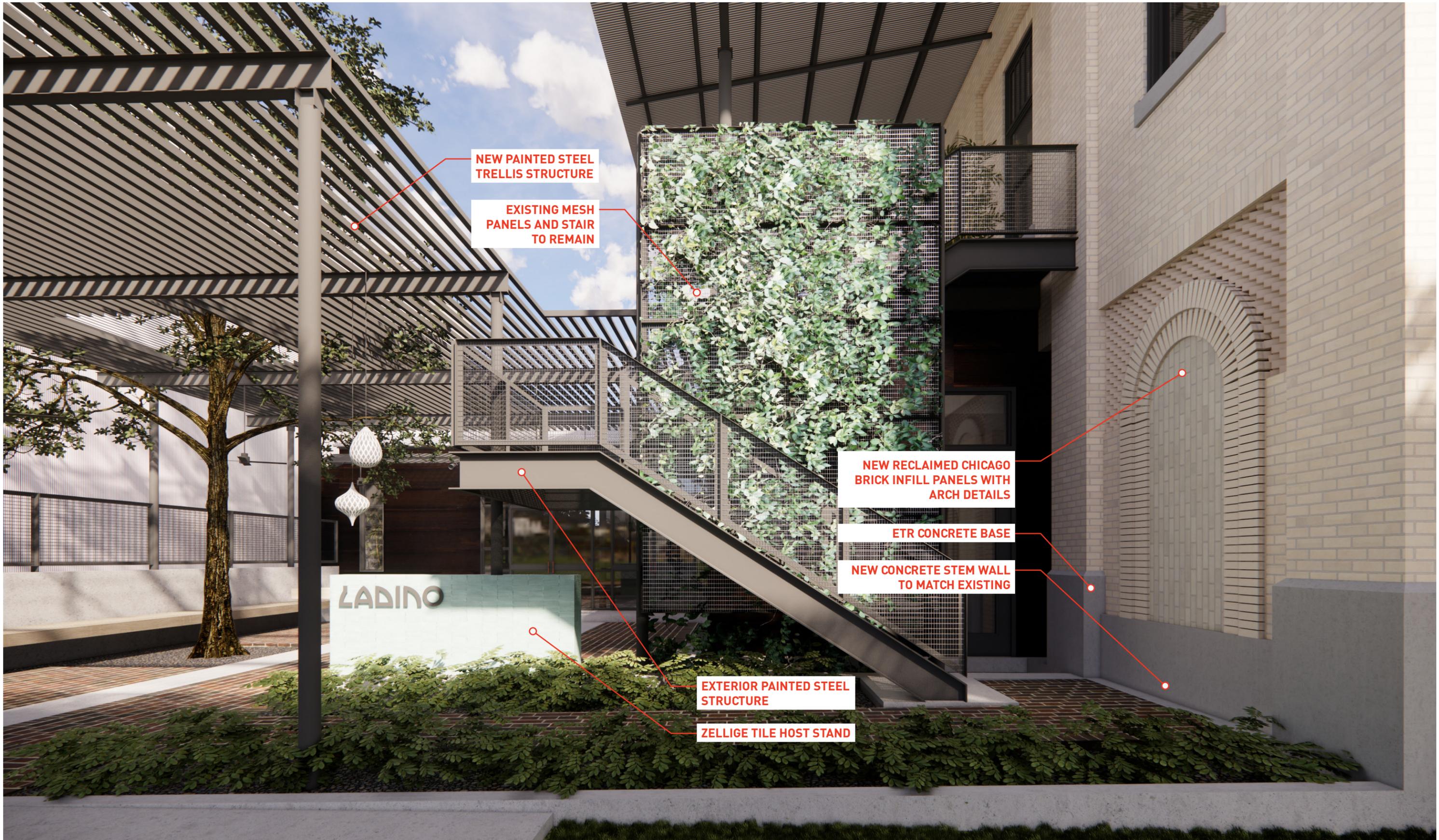
NEW RECLAIMED CHICAGO BRICK INFILL PANELS WITH ARCH DETAILS

NEW CONCRETE STEM WALL TO MATCH EXISTING

EXISTING CONCRETE STEM WALL TO REMAIN

NEW MESH PANELS OVER PLASTERED BUILDING

NEW LANDSCAPING AS PART OF 1100 SPRINGS PARK PROJECT



NEW PAINTED STEEL
TRELLIS STRUCTURE

EXISTING MESH
PANELS AND STAIR
TO REMAIN

NEW RECLAIMED CHICAGO
BRICK INFILL PANELS WITH
ARCH DETAILS

ETR CONCRETE BASE

NEW CONCRETE STEM WALL
TO MATCH EXISTING

LADINO

EXTERIOR PAINTED STEEL
STRUCTURE

ZELLIGE TILE HOST STAND



**NEW PAINTED STEEL
TRELLIS STRUCTURE**

**EXISTING WEATHERED
STEEL CLADDING AND
CUSTOM STEEL AND GLASS
STOREFRONT TO REMAIN**

**NEW FRONT DOOR TO MATCH
EXISTING STOREFRONT**

GENERAL NOTES

1. THE "CONSTRUCTION DOCUMENTS" SHALL CONSIST OF ALL SHEETS LISTED ON SHEET A000, SPECIFICATION DOCUMENTS, ALL CONSULTANTS' DRAWINGS, AS WELL AS ANY RFIS AND SK DRAWINGS ISSUED DURING THE COURSE OF THE BIDDING AND CONSTRUCTION OF THE PROJECT.

2. ALL CONSTRUCTION SHALL COMPLY WITH PROVISIONS OF ADOPTED CODES OF SAN ANTONIO, TEXAS AND OTHER FEDERAL, STATE AND LOCAL CODES HAVING JURISDICTION. THIS SHALL INCLUDE ALL APPLICABLE ENVIRONMENTAL IMPACT REGULATIONS AND ACCESSIBILITY REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018

3. WHEREVER THE TERM "ARCHITECT" IS USED IN THE CONTRACT DOCUMENTS, IT REFERS TO BURTON BALDRIDGE ARCHITECTS, INC.

4. ARCHITECT'S PRESENCE, OBSERVATION AND REVIEW AT THE WORK-SITE IS FOR THE LIMITED PURPOSE OF CONFIRMING THE GENERAL CONTRACTOR'S GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS AND NOT FOR THE PURPOSE OF REVIEWING ITS SAFETY PROCEDURES.

5. NEITHER THE PROFESSIONAL ACTIVITIES OF THE ARCHITECT, NOR THE PRESENCE OF THE ARCHITECT OR ITS EMPLOYEES AND SUB-CONSULTANTS AT THE WORK SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

6. NEITHER THE PROFESSIONAL ACTIVITIES OF THE ARCHITECT, NOR THE PRESENCE OF THE ARCHITECT OR ITS EMPLOYEES AND SUB-CONSULTANTS AT THE WORK SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS WITH RESPECT TO ANY HEALTH OR SAFETY PRECAUTIONS.

7. THE ARCHITECT AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER THE GENERAL CONTRACTOR OR ANY OF ITS SUBCONTRACTORS OR EMPLOYEES IN CONNECTION WITH ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES.

GENERAL CONTRACTOR REQUIREMENTS

1. THE TERM "GENERAL CONTRACTOR" HEREIN SHALL MEAN THE GENERAL CONTRACTOR, ITS AGENTS, REPRESENTATIVES AND SUBCONTRACTORS.

2. GENERAL CONTRACTOR, AND ITS SUBCONTRACTORS ARE REQUIRED TO HAVE ACCEPTABLE INSURANCE IN PLACE PRIOR TO COMMENCING CONSTRUCTION WORK.

3. GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT.

4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPERVISING AND DIRECTING ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES (INCLUDING THOSE OF ITS REPRESENTATIVES AND SUBCONTRACTORS) ON THE PROJECT USING ITS BEST SKILL AND ATTENTION. FOLLOWING GENERALLY ACCEPTED CONSTRUCTION INDUSTRY PRACTICES.

5. THE GENERAL CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING AND ZONING DEPARTMENT.

6. GENERAL CONTRACTOR SHALL VISIT THE PROPOSED CONSTRUCTION AREA, PRIOR TO COMMENCING CONSTRUCTION, TO EXAMINE AND NOTE ALL EXISTING CONDITIONS AS TO THE CHARACTER, EXTENT AND NATURE OF PROPOSED WORK. GENERAL CONTRACTOR SHALL ALERT ARCHITECT OF ANY SITE CONDITIONS THAT WILL AFFECT THE EXECUTION OF THE WORK AS INTENDED.

7. GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT, IN WRITING, OF ALL POTENTIAL CONFLICTS, WHICH MAY EXIST BETWEEN THE PROPOSED CONSTRUCTION ACTIVITIES AND EXISTING CONDITIONS, PRIOR TO COMMENCING WORK.

8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING, OBTAINING AND PAYMENT OF ALL INSPECTIONS FROM ALL AUTHORITIES HAVING JURISDICTION REQUIRED DURING THE COURSE OF CONSTRUCTION.

9. THE GENERAL CONTRACTOR SHALL NOT BEGIN ANY CONSTRUCTION OR FABRICATION UNTIL IT HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS, SPECIFICATIONS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

10. GENERAL CONTRACTOR SHALL IMMEDIATELY REPORT ANY ERRORS, INCONSISTENCIES OR OMISSIONS IT MAY ENCOUNTER, WITHIN THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION (AND THROUGHOUT THE CONSTRUCTION OF THE PROJECT) TO THE ARCHITECT. THE REPORTING FORMAT SHOULD BE IN THE FORM OF A WRITTEN REQUEST FOR INFORMATION (RFI).

11. GENERAL CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR ANY FIELD CHANGES, ALTERATIONS AND/OR MODIFICATIONS WITHOUT AUTHORIZATION FROM THE ARCHITECT.

12. GENERAL CONTRACTOR SHALL PROVIDE AN INDEPENDENT SURVEY, PREPARED BY A REGISTERED PROFESSIONAL LAND SURVEYOR, FOR TOPOGRAPHIC AND CONSTRUCTION CONTROL.

13. THE GENERAL CONTRACTOR SHALL ESTABLISH AND/OR LOCATE A BENCHMARK BASED UPON THE EXISTING CONDITIONS, PRIOR TO CONSTRUCTION ACTIVITIES.

14. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS AND DIMENSIONS (BOTH HORIZONTAL AND VERTICAL CONTROL) PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.

15. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB SITE AND SHALL USE THE DIMENSIONS INDICATED IN THE CONSTRUCTION DOCUMENTS. NEITHER GENERAL CONTRACTOR NOR SUBCONTRACTORS MAY SCALE FROM THE DRAWINGS.

16. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL COMPLETED WORK UNTIL IT IS DELIVERED TO THE OWNER. GENERAL CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL MATERIALS STORED OR INSTALLED ON THE SITE SUBJECT TO DAMAGE OR THEFT.

17. GENERAL CONTRACTOR SHALL SUPPLY ALL LABOR AND MATERIAL NECESSARY TO COMPLETE THE WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS.

18. THE GENERAL CONTRACTOR SHALL BE REQUIRED TO COORDINATE AND PROVIDE THE NECESSARY TEMPORARY FACILITIES WITHIN THE AREA OF CONSTRUCTION FOR EACH PHASE FOR THE STORAGE, STAGING, AND HOUSING OF HIS SUBCONTRACTORS MATERIAL, EQUIPMENT AND EMPLOYEES, INCLUDING BUT NOT LIMITED TO STORAGE AND STAGING AREAS, TEMPORARY DOORS, AND POWER FOR THE GENERAL USE.

19. GENERAL CONTRACTOR SHALL COORDINATE MECHANICAL PLUMBING, FIRE SPRINKLER AND ELECTRICAL DIVISIONS WITH OTHER TRADES AFFECTING OR AFFECTED BY SAME.

20. GENERAL CONTRACTOR SHALL KEEP AND MAINTAIN AS-BUILT DOCUMENTS AND SHALL SUBMIT COMPLETED PROJECT PLAN SET AT THE CONCLUSION OF CONSTRUCTION.

21. AT COMPLETION, GENERAL CONTRACTOR SHALL PROVIDE TO THE OWNER A CLOSE PACKAGE IN THE FORM OF A HARD BINDER INCLUDING COPIES OF PERMITS AND THE CERTIFICATE OF OCCUPANCY, A LIST OF SUBCONTRACTORS AND PHONE NUMBERS, ALL WARRANTIES AND MANUALS, AND A LIST OF PAINT COLORS AND FORMULAS.

22. GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.

23. ALL NEW CONSTRUCTION SHALL BE THOROUGHLY CLEANED AND FINISHED, BOTH EXTERIOR & INTERIOR AT THE COMPLETION OF THE PROJECT.

SAFETY REQUIREMENTS

1. GENERAL CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.

2. GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ON-SITE SAFETY AND LIFE AND HEALTH SAFETY ON THE PROJECT AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO SECURE AND PROTECT THE SAFETY OF ALL WORKERS, VISITORS, INSPECTORS AND OCCUPANTS AT ALL TIMES DURING THE CONSTRUCTION.

3. GENERAL CONTRACTOR SHALL KEEP CHARGED FIRE EXTINGUISHERS ON SITE IN ACCORDANCE WITH NFPA LOCAL FIRE DEPARTMENT REQUIREMENTS.

4. GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENSURING THE INTEGRITY AND SAFETY OF ADJACENT PROPERTY(S) AND ITS OCCUPANTS, WITH REGARD TO ALL CONSTRUCTION ACTIVITIES ON THE PROJECT.

5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, INSTALLATION AND MAINTENANCE OF ALL BARRICADING AND TRAFFIC CONTROL DEVICES, INCLUDING BUT NOT LIMITED TO LIGHTING, FENCING, FLAG PERSONS, AND OTHER NECESSARY CONTROL DEVICES DURING ALL CONSTRUCTION ACTIVITIES.

6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE MEASURES FOR EMERGENCY VEHICLE ACCESS TO ALL AREAS WITHIN THE CONSTRUCTION WORK ZONE AND ANY AREAS AFFECTED BY CONSTRUCTION ACTIVITIES. ACCESS ROADWAYS SHALL BE KEPT SMOOTH, COMPACTED AND CAPABLE OF SUPPORTING THE IMPOSED LOAD OF EMERGENCY VEHICLES.

7. GENERAL CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN A CLEARLY VISIBLE LOCATION WITHIN THE CONSTRUCTION AREA.

8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL REQUIRED SLOPE, EXCAVATION AND TRENCH SAFETY SYSTEMS IN ACCORDANCE WITH THE APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY AND

HEALTH ADMINISTRATION (OSHA).

SITE AND UTILITY NOTES

1. GENERAL CONTRACTOR SHALL ENSURE THAT DURING ALL PHASES OF THE CONSTRUCTION, AREAS AND/OR ACTIVITIES THAT CAUSE AIR BORNE DUST SHALL BE WETTED OR OTHERWISE CONTROLLED.

2. GENERAL CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM LEAVING THE JOB SITE.

3. GENERAL CONTRACTOR SHALL PERFORM ANY WORK WITHIN PUBLIC RIGHT-OF-WAY ONLY WITH APPROPRIATE PERMITS.

4. GENERAL CONTRACTOR SHALL COORDINATE EQUIPMENT STAGING AND STORAGE AREAS WITH THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.

5. GENERAL CONTRACTOR SHALL DISPOSE OF ALL REMOVED DEBRIS OFF-SITE AT AN APPROVED FACILITY.

6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY CONCRETE CURBING DAMAGED DURING THE CONSTRUCTION AT NO ADDITIONAL EXPENSE TO THE OWNER AND/OR AFFECTED PROPERTY OWNER.

7. GENERAL CONTRACTOR SHALL REMOVE ALL BRUSH, TREES AND VEGETATION MARKED FOR REMOVAL FROM WITHIN THE LIMITS OF THE PROPOSED IMPROVEMENTS.

8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING FENCING AND STRUCTURES DURING THE CONSTRUCTION AND SHALL REPAIR ANY STRUCTURE DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL EXPENSE TO THE OWNER AND/OR AFFECTED PROPERTY OWNER.

9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING TREES, SHRUBS AND LANDSCAPED AREAS, AND SHALL REPLACE ANY VEGETATION DAMAGED DURING THE CONSTRUCTION AT NO ADDITIONAL EXPENSE TO THE OWNER AND/OR AFFECTED PROPERTY OWNER.

10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

11. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS, BASED UPON DRAWINGS PROVIDED TO THE ARCHITECT AT THE TIME OF PREPARATION OF THESE PLANS. NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF UTILITY INFORMATION.

12. GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. GENERAL CONTRACTOR SHALL NOTIFY UTILITY COMPANIES IN ADVANCE OF CONSTRUCTION FOR LOCATION MARKING.

13. ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE UTILITY OWNER AT THE GENERAL CONTRACTOR'S SOLE EXPENSE AND SHALL NOT BE A BASIS FOR ADDITIONAL COMPENSATION.

14. IF DURING THE COURSE OF NORMAL CONSTRUCTION, EXISTING UTILITIES MUST BE TEMPORARILY REMOVED FROM SERVICE TO FACILITATE CONSTRUCTION, THE GENERAL CONTRACTOR SHALL INFORM THE OWNER'S REPRESENTATIVE, IN WRITING, PRIOR TO THE REMOVAL OF SERVICE AND SHALL PROVIDE TEMPORARY UTILITIES TO THE SATISFACTION OF AFFECTED ADJACENT PROPERTY OWNERS.

15. ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY, INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS. GENERAL CONTRACTOR SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING FEES, BONDS, PERMITS, ETC.

16. GENERAL CONTRACTOR SHALL MAKE ALL TEMPORARY CONNECTIONS TO EXISTING UTILITIES IN LOCATIONS ACCEPTABLE TO LOCAL AUTHORITIES HAVING JURISDICTION AND SHALL PAY ALL COSTS FOR TEMPORARY ELECTRICAL POWER, WATER AND HEATING.

BIDDING & SUBCONTRACTOR NOTES

1. GENERAL NOTE FOR BIDDERS: IT IS YOUR RESPONSIBILITY TO BID YOUR SCOPE OF WORK USING THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT SOMETHING WAS NOT INDICATED ON YOUR PORTION OF THE DRAWINGS WILL NOT BE ACCEPTABLE AS A REASON FOR AN EXTRA, IF IT CAN BE FOUND ELSEWHERE IN THE DRAWINGS OR SPECIFICATIONS.

2. THE SUBMISSION OF A PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT ALL REQUIREMENTS IMPLIED BY THE NOTES, DRAWINGS, AND FIELD CONDITIONS HAVE BEEN THOROUGHLY EXAMINED, INVESTIGATED, AND HAVE BEEN ACCOUNTED FOR IN THE PROPOSAL. ANY AND ALL LATER CLAIMS FOR LABOR, EQUIPMENT AND MATERIALS OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH EXAMINATIONS BEEN MADE, WILL NOT BE RECOGNIZED.

3. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL NOTES AND/OR ALL WORK ILLUSTRATED OR IMPLIED BY THE

NOTES AND DRAWINGS INCLUDED IN THE CONSTRUCTION DOCUMENTS. EACH ITEM THAT THE CONTRACTOR WILL BE ABLE TO COMPLY WITH OR THAT IS EXCLUDED FROM THE CONTRACT FOR CONSTRUCTION SHALL BE SPECIFICALLY OUTLINED IN THEIR PROPOSAL FOR WORK OR ALL LATER CLAIMS FOR ADDITIONAL LABOR AND MATERIALS WILL NOT BE RECOGNIZED.

4. NO CHANGES IN THE WORK AS CONTEMPLATED BY THE CONSTRUCTION DOCUMENTS WILL BE ACCEPTABLE WITHOUT FIRST OBTAINING PERMISSION FROM THE OWNER.

5. THE PLANS, NOTES, AND DRAWINGS HAVE BEEN DEVELOPED WITH THE INTENT OF MEETING OR EXCEEDING THE MINIMUM REQUIRED STANDARDS. SHOULD THE PLANS AND SPECIFICATIONS INCLUDE DISCREPANCIES, GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT BY WRITTEN RFI.

6. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL REFER TO SCHEDULES FOR ALL MATERIALS, FINISHES AND FIXTURES. WHERE THERE ARE DISCREPANCIES BETWEEN DRAWINGS AND SCHEDULES, THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT BY WRITTEN RFI.

7. WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE", OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THE CONSTRUCTION DOCUMENTS, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE DISCRETION AND JUDGMENT OF THE ARCHITECT.

8. GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL BID THIS PROJECT AS DESIGNED. IF REQUESTED BY THE OWNER, THE GENERAL CONTRACTOR SHALL SUBMIT AN ITEMIZED BID PER THE DRAWING SET AND SUBMIT VALUE-ENGINEERING ITEMS SEPARATELY.

9. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL MAKE ALL REQUIRED ARRANGEMENTS FOR DELIVERY OF EQUIPMENT AND/OR MATERIALS. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO CHECK THE RULES AND REGULATIONS GOVERNING WORK AT THE BUILDING SITE.

10. SUBCONTRACTORS SHALL COORDINATE DATES AND TIMES OF DELIVERY WITH THE GENERAL CONTRACTOR.

11. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF IT (OR A SUBCONTRACTOR) CANNOT COMPLY WITH ALL NOTES AND/OR ALL WORK ILLUSTRATED OR IMPLIED BY THE NOTES AND DRAWINGS INCLUDED IN THE CONSTRUCTION DOCUMENTS. EACH ITEM WITH WHICH THE RESPECTIVE CONTRACTOR WILL BE UNABLE TO COMPLY SHALL BE SPECIFICALLY OUTLINED IN ITS PROPOSAL FOR WORK OR ALL LATER CLAIMS FOR ADDITIONAL LABOR AND MATERIALS WILL NOT BE RECOGNIZED.

12. GENERAL CONTRACTOR, ITS SUBCONTRACTORS, AND ANY OTHER CONTRACTOR INVOLVED IN THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK AS A RESULT OF, BUT NOT LIMITED TO, WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE FOR SUCH COST.

SUBMITTAL NOTES

1. ALL APPLICABLE TRADES SHALL SUBMIT SHOP DRAWINGS OF ALL MILLWORK AND/OR ANY RELEVANT PRODUCT LITERATURE AND SPECIFICATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL.

2. THE ARCHITECT SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION UPON THE GENERAL CONTRACTOR'S SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS.

3. REVIEW OF SUBMITTALS AND SHOP DRAWINGS IS NOT CONDUCTED FOR THE PURPOSE OF DETERMINING THE ACCURACY AND/OR COMPLETENESS OF DETAILS SUCH AS DIMENSIONS AND QUANTITIES, OR FOR SUBSTANTIATING INSTRUCTIONS FOR INSTALLATION OR PERFORMANCE OF EQUIPMENT OR SYSTEMS, ALL OF WHICH REMAIN THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

CHANGE ORDER NOTES

1. THE OWNER, WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK BUT THE CONTRACT SUM AND TIME MAY BE ADJUSTED ACCORDINGLY BY WAY OF WRITTEN CHANGE ORDER FROM THE GENERAL CONTRACTOR.

2. NO SUCH WORK MAY COMMENCE UNTIL APPROVAL OF THE CHANGE ORDER BY OWNER.

3. IF ANY REVISIONS TO CONSTRUCTION DOCUMENTS CAUSE ADDITIONAL COST, THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT BY WAY OF A WRITTEN CHANGE ORDER PER THE PRECEDING PARAGRAPHS.

4. ALL CLAIMS FOR ADDITIONAL WORK WILL BE SUBMITTED BY WRITTEN CHANGE ORDER FOR THE APPROVAL OF THE ARCHITECT AND SHOULD INCLUDE A COMPLETE DESCRIPTION OF WORK BEING PERFORMED AND BASIS FOR ADDITIONAL COMPENSATION.

ABBREVIATIONS

AD AREA DRAIN
ADD ADDENDUM
AFF ABOVE FINISH FLOOR
BO BOTTOM OF / BASE OF
CJ CONTROL JOINT
CL CENTER LINE
CLG CEILING
CMU CONCRETE MASONRY UNIT
COL COLUMN
CONC CONCRETE
CONT CONTINUOUS
COORD COORDINATE
CTR CENTER
DBL DOUBLE
DET DETAIL
DIA DIAMETER
DIA DIAGONAL
DIFF DIFFUSER
DIM DIMENSION
DL DEAD LOAD
DN DOWN
DNP DOWNPOUT
EA EACH
EJ EXPANSION JOINT
ELECT ELECTRICAL
EQUA EQUAL
EOD EDGE OF DECKING
EOS EDGE OF SLAB
EXP EXPANSION
EXT EXTERIOR
FABR FABRICATED
FC FINISH CEILING
FD FLOOR DRAIN
FF FINISH FLOOR
FIN FINISH
FNF FACE OF FINISH
FOS FACE OF SHEATHING
FL FLOOR
F/F FEET / FOOT
FURN FURNISH
FURR FURRING
G GAS
GA GAUGE
GC GENERAL CONTRACTOR
GFI GROUND FAULT INTERRUPT
GWB GYPSUM WALL BOARD
HB HOSEBIB
HDR HEADER
HDWR HARDWARE
IN INCHES / INCH
INSUL INSULATION
INT INTERIOR
LAM LAMINATED
LB LOAD
LL LIVE LOAD
MAX MAXIMUM
MFR MANUFACTURER
MIN MINIMUM
MISC MISCELLANEOUS
MTL METAL
MUL MULLION
MOUNT MOUNTED
NO / # NUMBER
NTS NOT TO SCALE
OVERALL OVERALL
ON CENTER ON CENTER
OPP OPPOSITE
OSB ORIENTED STRAND BOARD
PERF PERFORATED
PERP PERPENDICULAR
PL PLATE / PROPERTY LINE
PLYWD PLYWOOD
PSF POUNDS PER SQUARE FOOT
PSI POUNDS PER SQUARE INCH
PT PRESSURE-TREATED
RCP REFLECTED CEILING PLAN
RECT RECTANGLE
REF REFERENCE / REFRIGERATOR
REINF REINFORCED
REQD REQUIRED
RET RETURN
REV REVISION
RM ROOM
RO ROUGH OPENING
SCHED SCHEDULED
SECT SECTION
SF SQUARE FEET / FOOT
SHWR SHOWER
SPEC SPECIFICATION
SQ SQUARE
SS STAINLESS STEEL
STC SOUND TRANSMISSION CLASS
STD STANDARD
STL STEEL
STRUCT STRUCTURE / STRUCTURAL
T&G TONGUE AND GROVE
TEL TELEPHONE
TEMP TEMPERED / TEMPORARY
TOP OF TOP OF SLAB
TOP-OF-WALL TOP-OF-WALL
TYP TYPICAL
UC UNDER-COUNTER
UON UNLESS OTHERWISE NOTED
UP UTILITY POLE
UTIL UTILITY
VERT VERTICAL
VIF VERIFY IN FIELD
W/C WATER CLOSET
W/D WASHER/DRYER
WH WATER HEATER
WP WEATHERPROOF
WRB WEATHER RESISTANT BARRIER

CRITICAL PROJECT INFORMATION

BUILD OUT AREA: 4,320 GSF (TOTAL)
705 GSF (NEW)
3,615 GSF (EXISTING)

OCCUPANCY: ASSEMBLY (A-2)

CONSTRUCTION TYPE: II-B

TOTAL NO. OCCUPANTS: 207

SPRINKLERS: YES

FIRE ALARMS: YES

EMERGENCY LIGHTING: YES

EXITS REQUIRED: 2

EXITS PROVIDED: 2

TOTAL # BLDG. FLOORS: 2

FL IN SCOPE OF WORK: 2

REQUIRED # WC'S: 2 MEN'S, 2 WOMEN'S

PROVIDED # WC'S: 2 MEN'S, 2 WOMEN'S

REQUIRED # LAV: 2

PROVIDED # LAV: 2

NO. STOVE HOODS: 2

NO. WALK IN COOLERS: 2

NO. WALK IN FREEZERS: 0

APPLICABLE CODES

BUILDING: 2018 IBC W/ COSA AMENDMENTS

MECHANICAL: 2018 IMC W/ COSA AMENDMENTS

ELECTRICAL: 2017 NEC W/ COSA AMENDMENTS

PLUMBING: 2018 IPC W/ COSA AMENDMENTS

FIRE / L.S.: 2018 IFC W/ COSA AMENDMENTS

ACCESSIBILITY: 2012 TX ACCESSIBILITY STANDARDS

ENERGY: 2018 IECC W/ COSA AMENDMENTS

FIRE RESISTANCE REQUIREMENTS

BEARING WALLS:
INTERIOR: 0 HOUR
EXTERIOR: 0 HOUR

NON-BEARING WALLS AND PARTITIONS:
EXTERIOR: 0 HOUR
INTERIOR: 0 HOUR

FLOOR: 0 HOUR

ROOF: 0 HOUR

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200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215

REGISTERED ARCHITECT
BURTON BALDRIGE
STATE OF TEXAS
19079

04/26/2021

COVER SHEET AND
GENERAL NOTES

LADINO

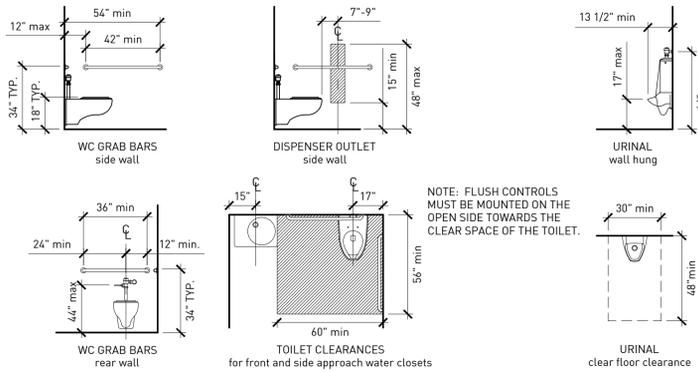
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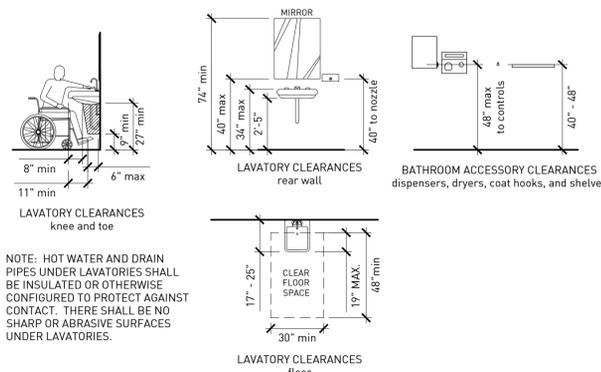
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ACCESSIBILITY NOTES

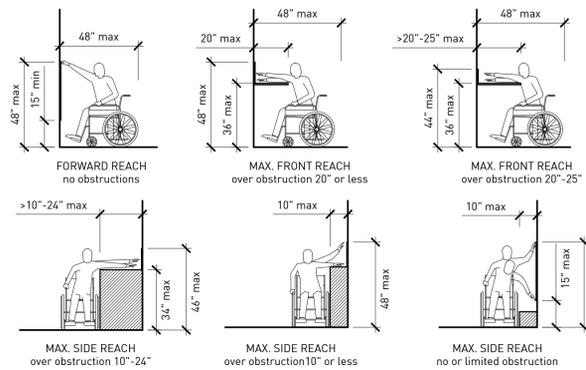
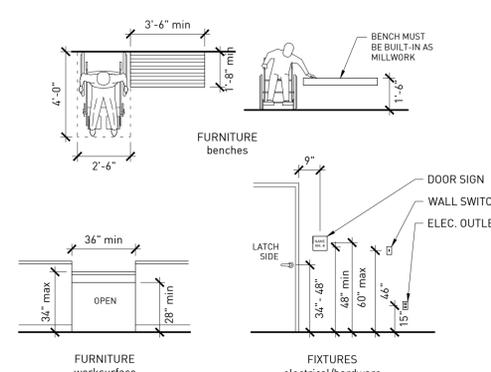
- IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS OR SPECIAL ACCESS LIFTS.
- FLOOR SURFACES SHALL BE SLIP-RESISTANT.
- EVERY CORRIDOR AND AISLE SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NOT LESS THAN 44" WIDTH.
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" IN HEIGHT. LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. BEVEL OTHERS WITH A SLOPE NOT GREATER THAN 1:2.
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. MOUNT DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE FLOOR FINISH.
- MAXIMUM PULL OR PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS. CORRESPONDING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. MAXIMUM EFFORT TO OPERATE REQUIRED FIRE DOORS MAY BE INCREASED BUT NOT TO EXCEED 15 POUNDS.
- THE BOTTOM 10" OF ALL DOORS (EXCEPT SLIDING AND AUTOMATIC) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. PROVIDE A 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF NARROW FRAME DOORS.
- EVERY REQUIRED ENTRANCE OR PASSAGE DOOR WAY SHALL BE NOT LESS THAN 3' IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32".
- WHERE A PAIR OF DOOR IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAD POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- IDENTIFY ACCESSIBLE ENTRANCES WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.
- THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 44" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION.
- FLOORS OR LANDINGS SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- CENTER ELECTRICAL RECEPTACLE OUTLETS NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM.
- SANITARY FACILITIES LOCATED ON AN ACCESSIBLE FLOOR OF A BUILDING SHALL BE ACCESSIBLE TO THE PHYSICALLY HANDICAPPED.
- ENTRY TO SANITARY FACILITIES:
 - 44" CLEAR AISLES OR CORRIDORS WHERE OCCUPANT LOAD IS 10 OR MORE.
 - DOORWAYS TO HAVE A 32" CLEAR OPENING.
 - ON APPROACH SIDE, PROVIDE A 60" CLEAR LEVEL SPACE WHEN DOOR SWINGS TOWARD APPROACH AND 44" SPACE WHEN DOOR SWINGS AWAY FROM APPROACH.
- TOILET ROOM ACCESSORIES:
 - MOUNT BOTTOM EDGE OF MIRRORS NO HIGHER THAN 40" FROM FLOOR.
 - MOUNT TOILET TISSUE DISPENSERS WITHIN 12" FROM THE FRONT EDGE OF THE TOILET SEAT.
 - MOUNT DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY NAPKINS, WASTE, COIN SLOTS, ETC.) WITH OPERATING PARTS NO HIGHER THAN 48" FROM THE FLOOR.
- SINGLE ACCOMMODATION TOILET FACILITY:
 - WATER CLOSET TO HAVE A 28" CLEARANCE FROM FIXTURE AND 32" FROM WALL.
 - MINIMUM CLEAR SPACE IN FRONT OF WATER CLOSET TO BE 48".
 - A SPACE 36"x48" IS PERMITTED IN FRONT OF EXISTING WATER CLOSET ACCESSIBLE TO THE HANDICAPPED.
- THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) SHALL BE BETWEEN 17" AND 19".
- MOUNT FLUSH VALVE CONTROL NO MORE THAN 44" ABOVE THE FLOOR, ON THE SIDE OF THE TOILET WITH THE GREATEST SEPARATION FROM ADJACENT WALL OR OTHER SURFACE.
- PROVIDE GRAB BARS ON EACH SIDE, OR ONE SIDE AND BACK OF WATER CLOSET.
 - GRAB BARS TO BE 33" ABOVE AND PARALLEL TO THE FLOOR.
 - SIDE BARS TO BE 42" LONG AND PROJECT 24" IN FRONT OF WATER CLOSET STOOL. GRAB BAR AT BACK TO BE 36" LONG.
 - DIAMETER OF GRAB BARS TO BE 1-1/4" TO 1-1/2".
 - PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL.
 - GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250 POUND LOAD.
 - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
 - GRAB BARS AND ANY ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.
 - EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8"
- PROVIDE A CLEAR FLOOR SPACE 30"x48" IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH.
- MOUNT LAVATORIES WITH A MINIMUM CLEARANCE OF 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON. PROVIDE KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30" IN WIDTH WITH 8" MINIMUM WIDTH, AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR A MINIMUM OF 17" DEEP FROM THE FRONT OF THE LAVATORY.
- FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF CLOSING ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
- INSULATE OR OTHERWISE COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES.
- THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.



NOTE: FLUSH CONTROLS MUST BE MOUNTED ON THE OPEN SIDE TOWARDS THE CLEAR SPACE OF THE TOILET.

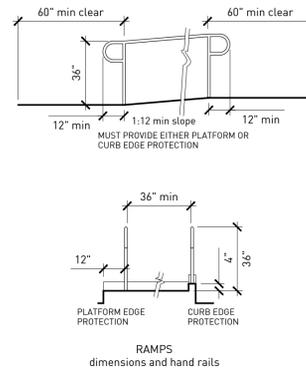
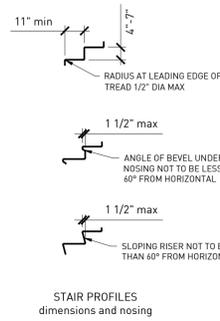
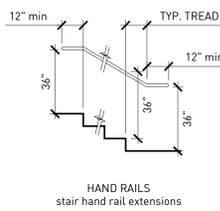
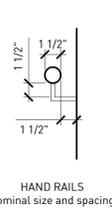


NOTE: HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.



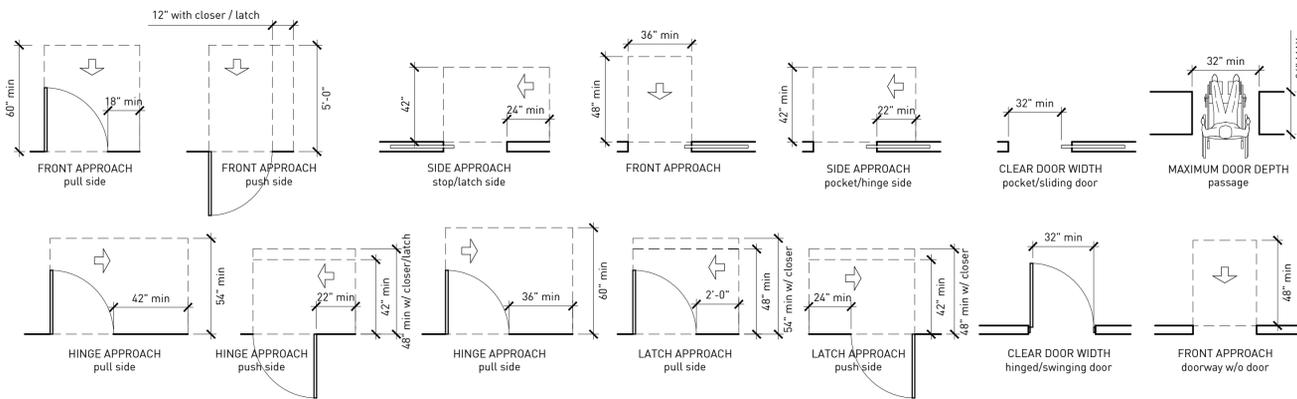
TAS SECTION 4.9.4 HANDRAILS

1) IF STAIRS MORE THAN 86" SHALL HAVE INTERMEDIATE HANDRAILS SPACED 8' IN O.C. MAXIMUM.
2) IF HANDRAILS ARE NOT CONTINUOUS, THEY SHALL EXTEND AT LEAST 12" BEYOND THE TOP RISER AND AT LEAST 12" PLUS THE LENGTH OF ONE TREAD BEYOND THE BOTTOM RISER. AT THE TOP, THE EXTENSION SHALL BE PARALLEL WITH THE FLOOR OR GROUND SURFACE. AT THE BOTTOM, THE HANDRAIL SHALL CONTINUE TO SLOPE FOR A DISTANCE OF THE WIDTH OF ONE TREAD FROM THE BOTTOM RISER. THE REMAINDER OF THE EXTENSION SHALL BE HORIZONTAL.



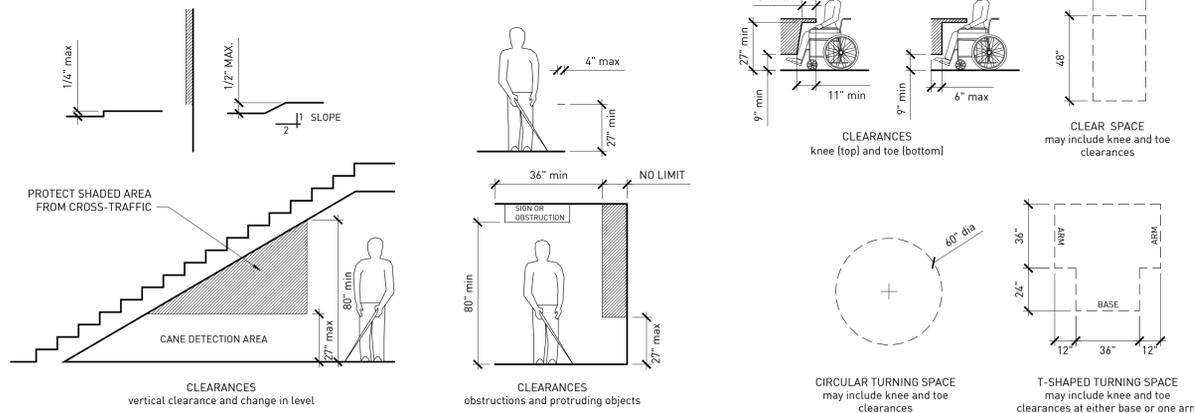
04 | REACH SPECIFICATIONS

SCALE: 1/4" = 1'-0"



03 | DOOR SPECIFICATIONS

SCALE: 1/4" = 1'-0"



01 | CLEARANCES AND SPACE

SCALE: 1/4" = 1'-0"

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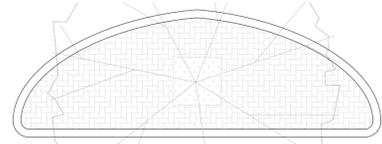
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ACCESSIBILITY STANDARDS

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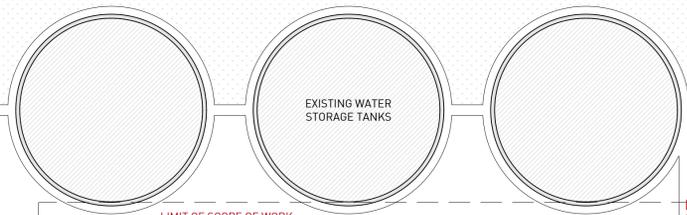
A-001

E. GRAYSON STREET



EXISTING DOMESTIC WATER METER TO REMAIN

APPROXIMATE LOCATION OF DOMESTIC WATER BACKFLOW PREVENTOR
APPROXIMATE LOCATION OF EXISTING SANITARY SEWER CLEANOUT



EXISTING WATER STORAGE TANKS

GAS METER

LIMIT OF SCOPE OF WORK

NEW 2 STORY ADDITION (706 GSF)

EXISTING SIGN TO BE REMOVED AND RELOCATED AS PART OF ADJACENT PARK PROJECT - NOT IN PROJECT SCOPE

FULL GOODS BUILDING (NOT IN SCOPE)

INTERIOR REMODEL OF EXISTING 2 STORY BUILDING (3,626 GSF)

NEW FLATWORK EGRESS PATHWAY BY OTHERS
EXISTING STAIRS AND HANDRAIL TO REMAIN

EGRESS DOOR

EXISTING GREASE TRAP TO REMAIN

NEW EXTERIOR EGRESS STAIR:
REF. A600'S FOR DETAILS

KARNES STREET (PEDESTRIAN ONLY)

LIMIT OF SCOPE OF WORK

ENTRY DOOR

EGRESS DOOR

FUTURE LOCATION OF RAMP COMPLETED BY ADJACENT PARK PROJECT TEAM - NOT IN PROJECT SCOPE

NEW PTD STEEL TRELLIS STRUCTURE ABOVE

EXISTING BRICK PAVING, CONCRETE FLATWORK, AND PLANTINGS TO REMAIN THROUGHOUT COURTYARD

EXISTING EXTERIOR STAIR + SCREEN WALL TO REMAIN

ALL PAVING + IMPROVEMENTS OUTSIDE OF SCOPE OF WORK BOUNDARY TO BE COMPLETED BY ADJACENT PARK PROJECT TEAM - NOT IN PROJECT SCOPE

NEW PROPOSED TRELLIS STRUCTURE COMPLETED BY ADJACENT PARK PROJECT TEAM - NOT IN PROJECT SCOPE

NEW LOW CONCRETE LANDSCAPE WALL SUPPORTS TRELLIS COLUMNS, REF. A-100 FOR DIMENSIONS; CNC 03



GENERAL NOTES

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3. ALL DIMENSIONS ARE STRUNG FROM FACE OF FINISH OR STRUCTURAL ELEMENT, UN.
4. ALL BUILDING ELEVATIONS ARE RELATIVE TO THE FINISHED INTERIOR FLOOR SET AT 100'-0". U.O.N. CONTRACTOR SHALL IDENTIFY A BENCH MARK ON SITE FOR ALL EXTERIOR AND LANDSCAPE DIMENSIONS RELATIVE TO SAID FLOOR ELEVATION.
5. ALL GLOBAL ELEVATIONS PROVIDED ARE RELATIVE TO A BENCHMARK SET BY SURVEYOR ON SITE. APPROXIMATE LOCATION OF THE BENCHMARK IS SHOWN IN THE SITE PLAN A002. CONTRACTOR TO IDENTIFY LOCATION OF BENCHMARK ON SITE AS REQUIRED FOR CLARITY.
6. ALL TOPOGRAPHY DEPICTED IN THIS DRAWING INTENDED TO CONVEY ARCHITECTURAL INTENT REGARDING PLACEMENT AND ELEVATION OF BUILDING RELATIVE TO THE SURROUNDING NATURAL AND AMENDED GRADE. FOR ALL DRAINAGE, ROADWAY ROUTING, AND IRRIGATION / WATERWAYS - REF. CIVIL ENGINEERING DRAWINGS.

DRAWING LEGEND

- BRICK PAVING
- BRICK PAVING (HERRINGBONE)
- PLANTING
- GRAVEL
- CONCRETE PAVING

DRAWING NOTES

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SAN ANTONIO, TX 78215



04/26/2021

SITE PLAN

date plotted: 26 APRIL 2021
scale: 3/16"=1'-0"

A-002

OCCUPANCY

ROOM	AREA	OCCUPANCY	SF PER OCCUPANT	CALCULATED OCCUPANCY
ENTRY (100)	126 SF	ASSEMBLY (STANDING)	5 NET	27
DINING ROOM (102)	1115 SF	ASSEMBLY (UNCONCENTRATED)	15 NET	51
COURTYARD (120)	1022 SF	ASSEMBLY (UNCONCENTRATED)	15 NET	21
BAR SEATING (200)	897 SF	ASSEMBLY (UNCONCENTRATED)	15 NET	60
BALCONY (220)	314 SF	ASSEMBLY (UNCONCENTRATED)	15 NET	37
TOTAL GUEST OCCUPANTS				196
KITCHEN + DISH (103,104, 101)	676 SF	KITCHEN	200 GROSS	4
PREP / WALK-IN (106+107)	310 SF	KITCHEN	200 GROSS	2
BAR + WALK-IN (201+203)	383 SF	KITCHEN	200 GROSS	2
DRY STORAGE / PREP (205)	313 SF	KITCHEN	200 GROSS	2
OFFICE (206)	65 SF	BUSINESS	100 GROSS	1
TOTAL STAFF OCCUPANTS				11
TOTAL OCCUPANTS				207

EGRESS

REQUIRED EGRESS:
FIRST FLOOR
SECOND FLOOR

(2) SEPARATE MEANS
(2) SEPARATE MEANS

EXIT DISTANCES:
LEVEL 01:
LONGEST DIAGONAL 88'-3"
1/3 LONGEST DIAGONAL 29'-5"
DIST BTWN (2) REQ. EGRESS 44'-9" (1/3 LONGEST DIAG)

LEVEL 02:
LONGEST DIAGONAL 77'-4"
1/3 LONGEST DIAGONAL 25'-9"
DIST BTWN (2) REQ. EGRESS 31'-7" (1/3 LONGEST DIAG)

FIXTURE COUNTS

REQ'D FIXTURES (PER 2018 IPC TABLE 403.1)

OCCUPANCY RESTAURANTS / BANQUET HALL
WC'S 1 PER 75 (MALE), 1 PER 75 (FEMALE)
LAV 1 PER 200

REQ'D WC'S 2 MEN'S, 2 WOMEN'S
REQ'D LAV 2

PROPOSED WC'S 2 MEN'S, 2 WOMEN'S
PROPOSED LAV 2

ACCESSIBLE WC'S 2 (50%, PER TAS 213.2, EXCEPTION 4)

DRAWING LEGEND

- CLEAR EGRESS PATHWAY
- STANDING ROOM ASSEMBLY AREA
- UNCONCENTRATED ASSEMBLY AREA
- KITCHEN, COMMERCIAL
- BUSINESS

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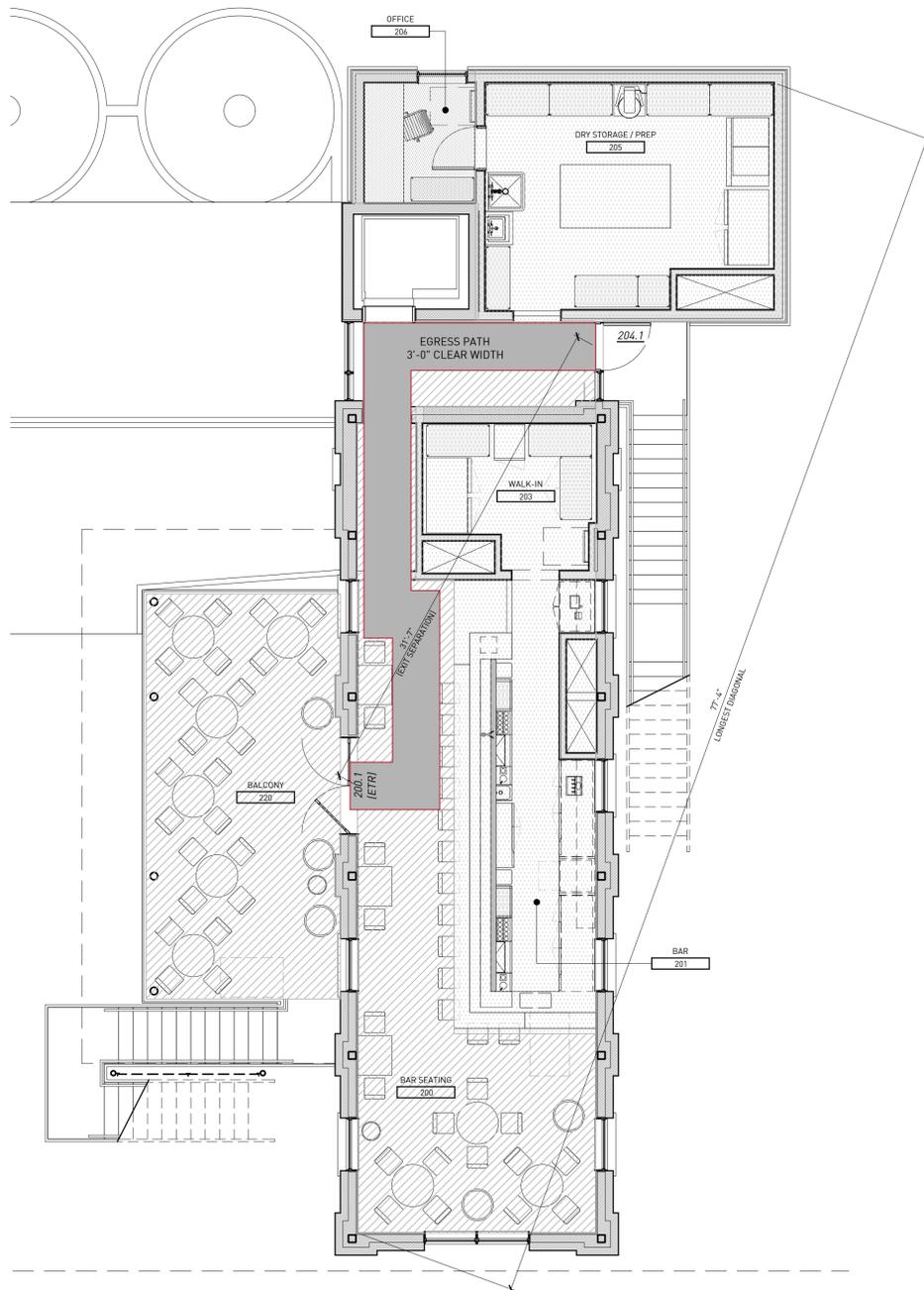


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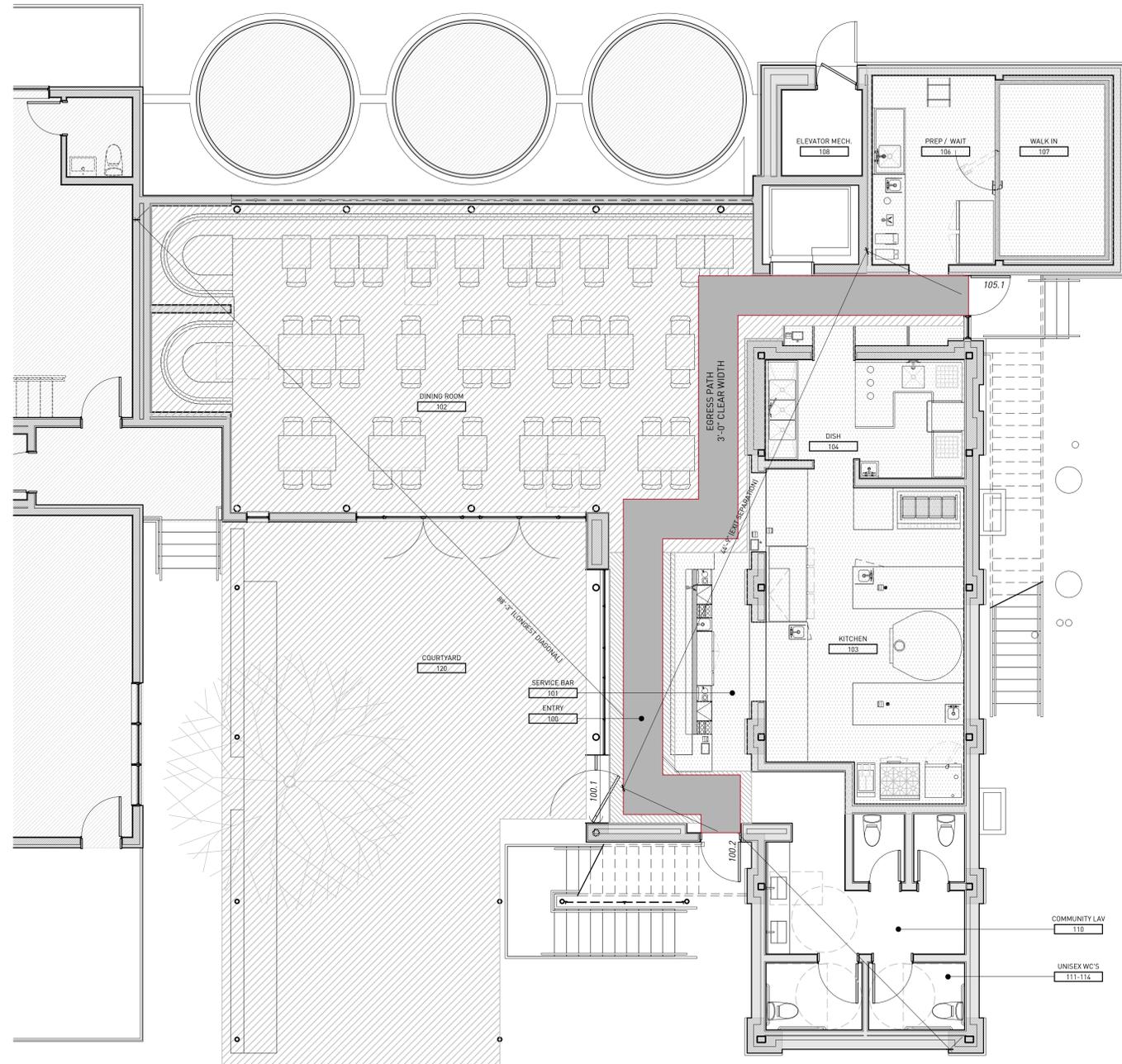
EGRESS / CODE PLANS

date plotted: 26 APRIL 2021
scale: 3/16"=1'-0"

A-003



01 | EGRESS PLAN - LEVEL 02
SCALE: 3/16" = 1'-0"



01 | EGRESS PLAN - LEVEL 01
SCALE: 3/16" = 1'-0"

DEMOLITION NOTES

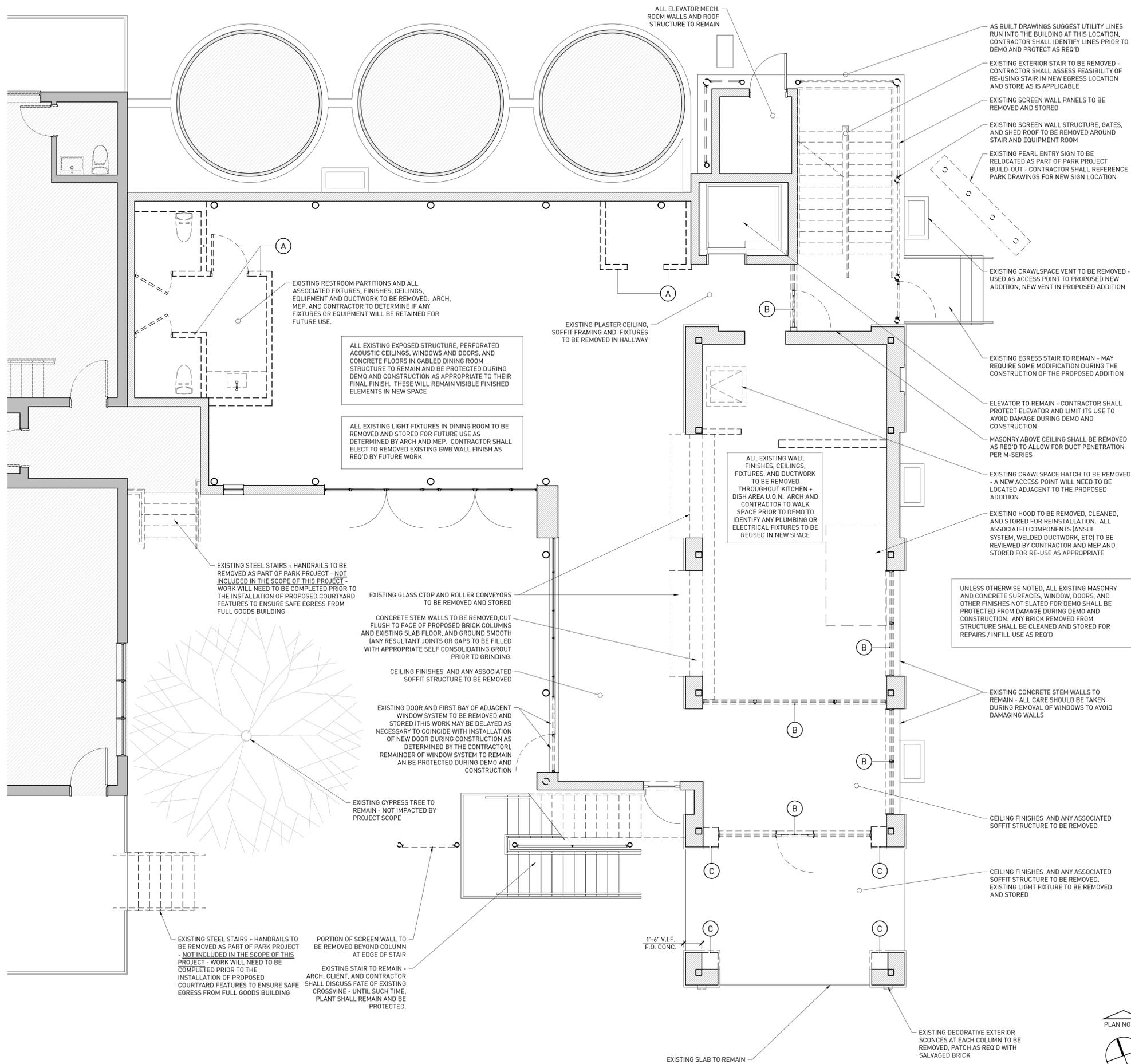
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2. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY AND INTEGRITY OF THE EXISTING STRUCTURE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT EACH SUBCONTRACTOR CLEANS UP AND REMOVES, DAILY, ANY AND ALL DEBRIS GENERATED BY CONSTRUCTION OPERATIONS, MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS.
4. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
5. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
6. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.
7. GENERAL CONTRACTOR SHALL: EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF ALL EXISTING FINISHES TO REMAIN AND/OR ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISH; SCHEDULE AND COORDINATE ALL TRADES TO ELIMINATE DAMAGE TO ALL FLOOR MATERIALS ONCE INSTALLED; PROVIDE PROTECTIVE COVERINGS FOR ALL FLOOR, PARTITION AND CEILING FINISHES TO REMAIN IN THE PROJECT AREA AND FOR ALL FINISHES WHICH MAY BE SUBJECT TO TRAFFIC OR CONSTRUCTION ACTIVITY IN ADJACENT AREAS; PROVIDE PROTECTIVE COVERING FOR ALL WINDOWS AND OTHER GLASS TO REMAIN; PROVIDE IMPACT PROTECTION FOR ALL INTERIOR FINISHES; PROVIDE MINIMUM 1/8" THICK TEMPERED HARDBOARD OR PLYWOOD GANG WAY TO PROTECT ALL FLOORING MATERIALS FROM BREAKAGE, CRACKING, SCORING OR OTHER DAMAGE FROM DOLLIES, HAND TRUCKS OR ROLLING BINS OR TOOL CARTS USED TO TRANSPORT MATERIALS TO AND FROM PROJECT AREA; EXTEND PROTECTION FROM BUILDING ENTRY(IES) TO PROJECT AREA
8. CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
9. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
10. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
11. ALL DEMOLISHED OR REMOVED BUILDING MATERIALS TO BE SALVAGED FOR CHARITY WHENEVER POSSIBLE (I.E., HABITAT FOR HUMANITY).
12. TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE COST EFFECTIVE TO RETAIN FOR NEW CONSTRUCTION. (I.E., LIMESTONE CLADDING FOR FUTURE LANDSCAPE USE, ETC.)
13. CONTRACTOR TO PROVIDE TEMPORARY POWER POLE FOR THE DURATION OF WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF WORK.

PLAN LEGEND

- - - - - EXISTING WALLS TO BE REMOVED
- ▨ EXISTING WALLS TO REMAIN
- ⬆ ELEVATION TAG

DRAWING KEY NOTES

- A. EXISTING PARTITION WALLS TO BE REMOVED
- B. EXISTING WINDOW / DOORS TO BE REMOVED
- C. PORTION OF BRICK-CLAD EXTERIOR WALL AND CONCRETE STEM WALL TO BE REMOVED. CONCRETE TO BE CUT BACK TO MATCH THICKNESS OF TYPICAL EXISTING CONCRETE STEM WALL THROUGHOUT (1'-6" V.I.F.). ALL REMOVED BRICK TO BE RETAINED ON SITE FOR PATCHING AS REQ'D



notes:

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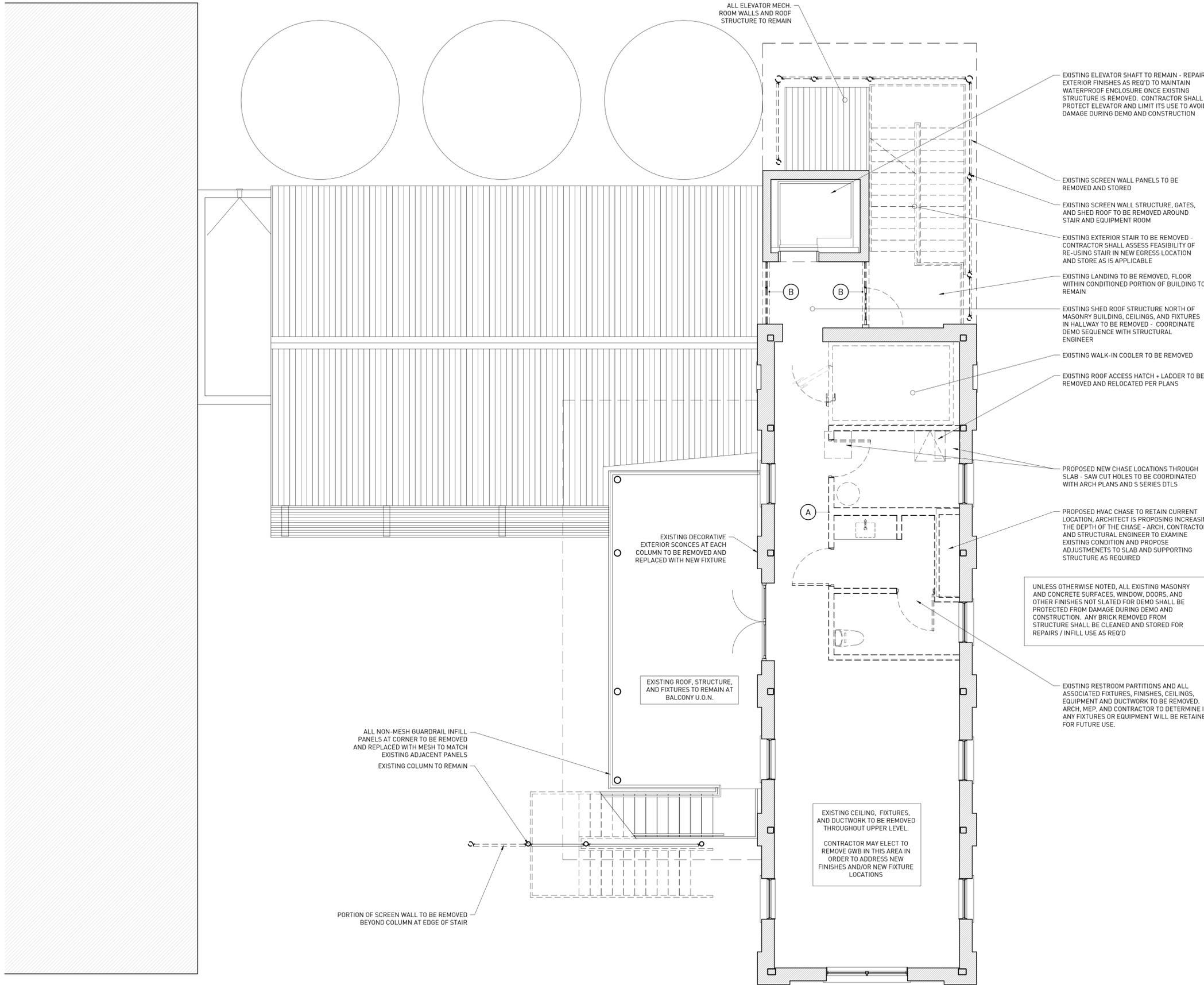
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DEMO PLAN
FIRST FLOOR

date plotted: 26 APRIL 2021
scale: 1/4" = 1'-0"

A-010



DEMOLITION NOTES

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5. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
6. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.
7. GENERAL CONTRACTOR SHALL: EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF ALL EXISTING FINISHES TO REMAIN AND/OR ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISH; SCHEDULE AND COORDINATE ALL TRADES TO ELIMINATE DAMAGE TO ALL FLOOR MATERIALS ONCE INSTALLED; PROVIDE PROTECTIVE COVERINGS FOR ALL FLOOR, PARTITION AND CEILING FINISHES TO REMAIN IN THE PROJECT AREA AND FOR ALL FINISHES WHICH MAY BE SUBJECT TO TRAFFIC OR CONSTRUCTION ACTIVITY IN ADJACENT AREAS; PROVIDE PROTECTIVE COVERING FOR ALL WINDOWS AND OTHER GLASS TO REMAIN; PROVIDE IMPACT PROTECTION FOR ALL INTERIOR FINISHES; PROVIDE MINIMUM 1/8 INCH THICK TEMPERED HARDBOARD OR PLYWOOD GANG WAY TO PROTECT ALL FLOORING MATERIALS FROM BREAKAGE, CRACKING, SCORING OR OTHER DAMAGE FROM DOLLIES, HAND TRUCKS OR ROLLING BINS OR TOOL CARTS USED TO TRANSPORT MATERIALS TO AND FROM PROJECT AREA; EXTEND PROTECTION FROM BUILDING ENTRY(IES) TO PROJECT AREA
8. CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
9. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
10. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
11. ALL DEMOLISHED OR REMOVED BUILDING MATERIALS TO BE SALVAGED FOR CHARITY WHENEVER POSSIBLE (I.E., HABITAT FOR HUMANITY).
12. TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE COST EFFECTIVE TO RETAIN FOR NEW CONSTRUCTION. (I.E., LIMESTONE CLADDING FOR FUTURE LANDSCAPE USE, ETC.)
13. CONTRACTOR TO PROVIDE TEMPORARY POWER POLE FOR THE DURATION OF WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF WORK.

PLAN LEGEND

- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN
- ELEVATION TAG

DRAWING KEY NOTES

- A. EXISTING PARTITION WALLS TO BE REMOVED
- B. EXISTING WINDOW / DOORS TO BE REMOVED
- C. PORTION OF BRICK-CLAD EXTERIOR WALL AND CONCRETE STEM WALL TO BE REMOVED. CONCRETE TO BE CUT BACK TO MATCH THICKNESS OF TYPICAL EXISTING CONCRETE STEM WALL THROUGHOUT (1'-6" V.I.F.). ALL REMOVED BRICK TO BE RETAINED ON SITE FOR PATCHING AS REQ'D

notes:

revision:

210426 ISSUE FOR PERMIT

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



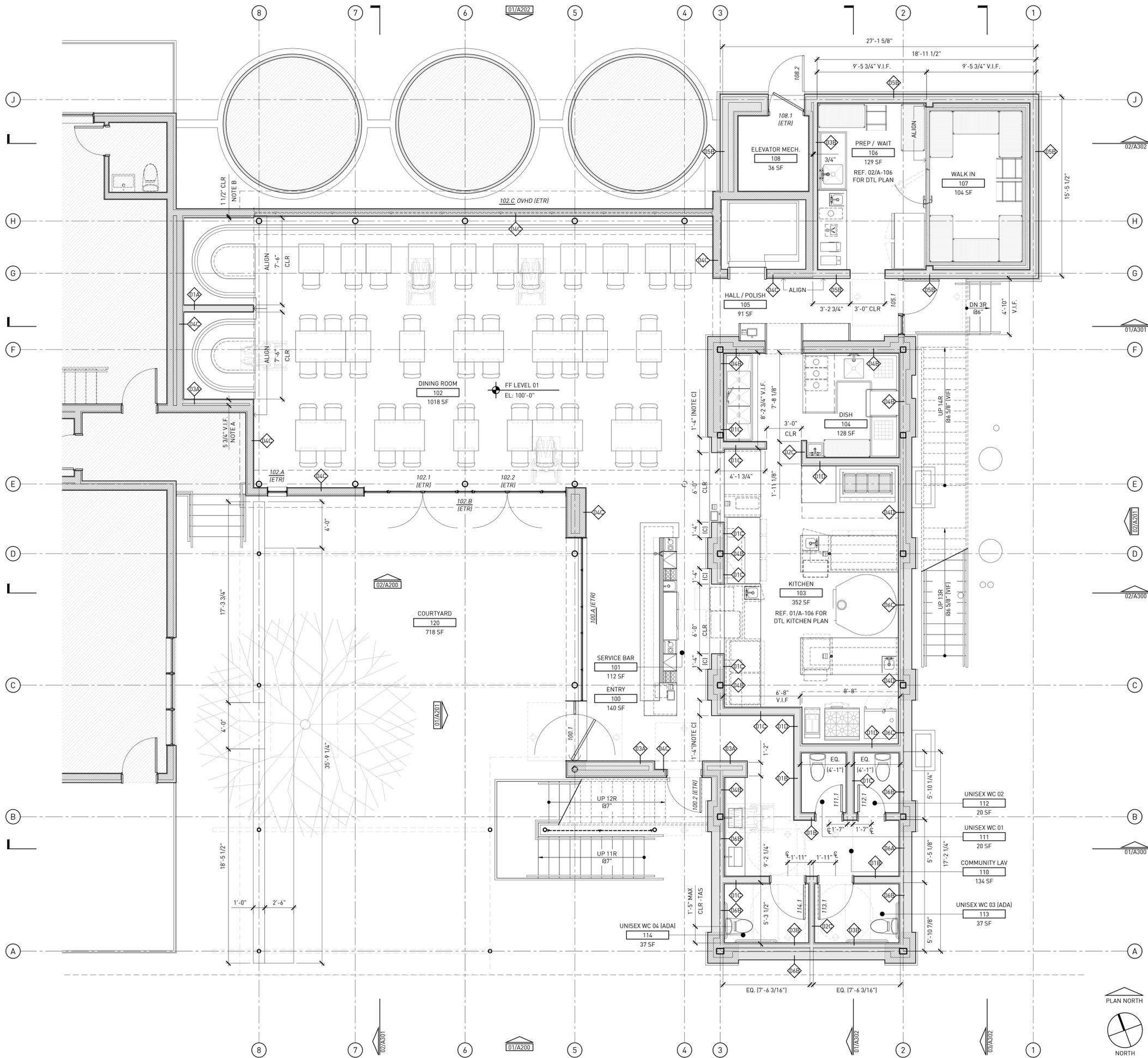
04/26/2021

DEMO PLAN
SECOND FLOOR

date plotted: 26 APRIL 2021
scale: 1/4"=1'-0"

A-011





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5. BOTTOM FINISHED SURFACE OF ALL CEILINGS AS NOTED IN DRAWINGS. REF. REFLECTED CEILING PLAN A-111 + A-112 FOR CEILING DETAILS AND FINISHES
6. ALL DOOR KNOBS TO BE MOUNTED AT 3'-1" AFF, U.O.N.
7. ALL INTERIOR PARTITIONS SUPPORTING POCKET DOORS AND OR PLUMBING TO BE CONSTRUCTED WITH 6" FRAMING, U.O.N.
8. REFERENCE PARTITION SCHEDULE A-701 FOR DETAILS REGARDING WALL COMPOSITION AND REQUIRED FIRE RATINGS. REFERENCE A-805 FOR BASE DETAILS.
9. ALL GLOBAL ELEVATIONS PROVIDE ARE RELATIVE TO A BENCHMARK TBD BY ARCHITECT AND CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION
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FIRE RESISTANCE RATINGS

1. FIRE RESISTANCE RATINGS OF ALL STRUCTURAL BUILDING MATERIALS MUST MEET OR EXCEED THOSE REQUIRED BY CODE FOR THE STATED BUILDING AND OCCUPANCY TYPE.
2. ALL PROPOSED UL LISTED BUILDING ASSEMBLIES TO BE APPROVED BY THE ARCHITECT AND LOCAL GOVERNING BODY PRIOR TO CONSTRUCTION

PLAN DETAILS

AREA:	DINING ROOM - 1115 SF BAR - 126 SF KITCHEN/BOH - 676 SF RESTROOMS - 248 SF
SEATING:	TABLES - 40 SEATS BANQUETTE - 22 SEATS BOOTHES - 8 SEATS
TOTAL INDOOR:	70 SEATS
TOTAL SEATING:	BAR - 33 SEATS OUTDOOR (BAR) - 24 OUTDOOR (COURT) - 60 187 SEATS

PLAN LEGEND

- EXISTING WALLS
- NEW FRAMED WALLS
- SECTION TAG
- ELEVATION TAG
- INTERIOR ELEVATION TAG
- SPOT ELEVATION TAG
- ROOM TAG
- DOOR DESIGNATION (REF DOOR SCHEDULE)
- WINDOW DESIGNATION (REF WINDOW SCHEDULE)
- PLUMBING FIXTURE TAG (REF PLUMBING SCHEDULE)
- APPLIANCE TAG (REF APPLIANCE SCHEDULE)
- PARTITION TYPE (REF WALL SCHEDULE)
- SMOKE/CARBON MONOXIDE DETECTOR (REF LIGHTING SCHEDULE)
- CENTER LINE

DRAWING NOTES

- FURR OUT EXISTING WALL AS REQ'D TO FRAME TWO EQUAL CLEAR BOOTH OPENINGS AS SHOWN
- FURR OUT EXISTING WALL FACE AS NOTED AT FULL DEPTH OF BOOTHS, REF. XX/A-820 FOR ENLARGED PLAN DTL
- WALL FRAMING AT EACH SIDE OF EXISTING BRICK COLUMNS TO BE SET BASED ON TWO FULL BRICK MODULES (16" CLR), REF. XX/A-820 FOR ENLARGED PLAN DTL

notes:

revision:

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LADINO
 200 E GRAYSON ROAD SUITE 100
 SAN ANTONIO, TX 78215



04/26/2021

FLOOR PLAN
FIRST FLOOR

date plotted: 26 APRIL 2021
scale: 1/4"=1'-0"

A-101



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PLAN LEGEND

- EXISTING WALLS
- NEW FRAMED WALLS
- SECTION TAG
- ELEVATION TAG
- INTERIOR ELEVATION TAG
- SPOT ELEVATION TAG
- ROOM TAG
- DOOR DESIGNATION (REF DOOR SCHEDULE)
- WINDOW DESIGNATION (REF WINDOW SCHEDULE)
- PLUMBING FIXTURE TAG (REF PLUMBING SCHEDULE)
- APPLIANCE TAG (REF APPLIANCE SCHEDULE)
- PARTITION TYPE (REF WALL SCHEDULE)
- SMOKE/CARBON MONOXIDE DETECTOR (REF LIGHTING SCHEDULE)
- CENTER LINE

DRAWING NOTES

- A. FINISHED FACE OF WALL ALIGNS WITH OUTSIDE FACE OF EXISTING WINDOW JAMB AS SHOWN, SET FRAMING AS REQ'D TO ALIGN.

notes:

revision:

210426 ISSUE FOR PERMIT

LADINO
 200 E GRAYSON ROAD SUITE 100
 SAN ANTONIO, TX 78215

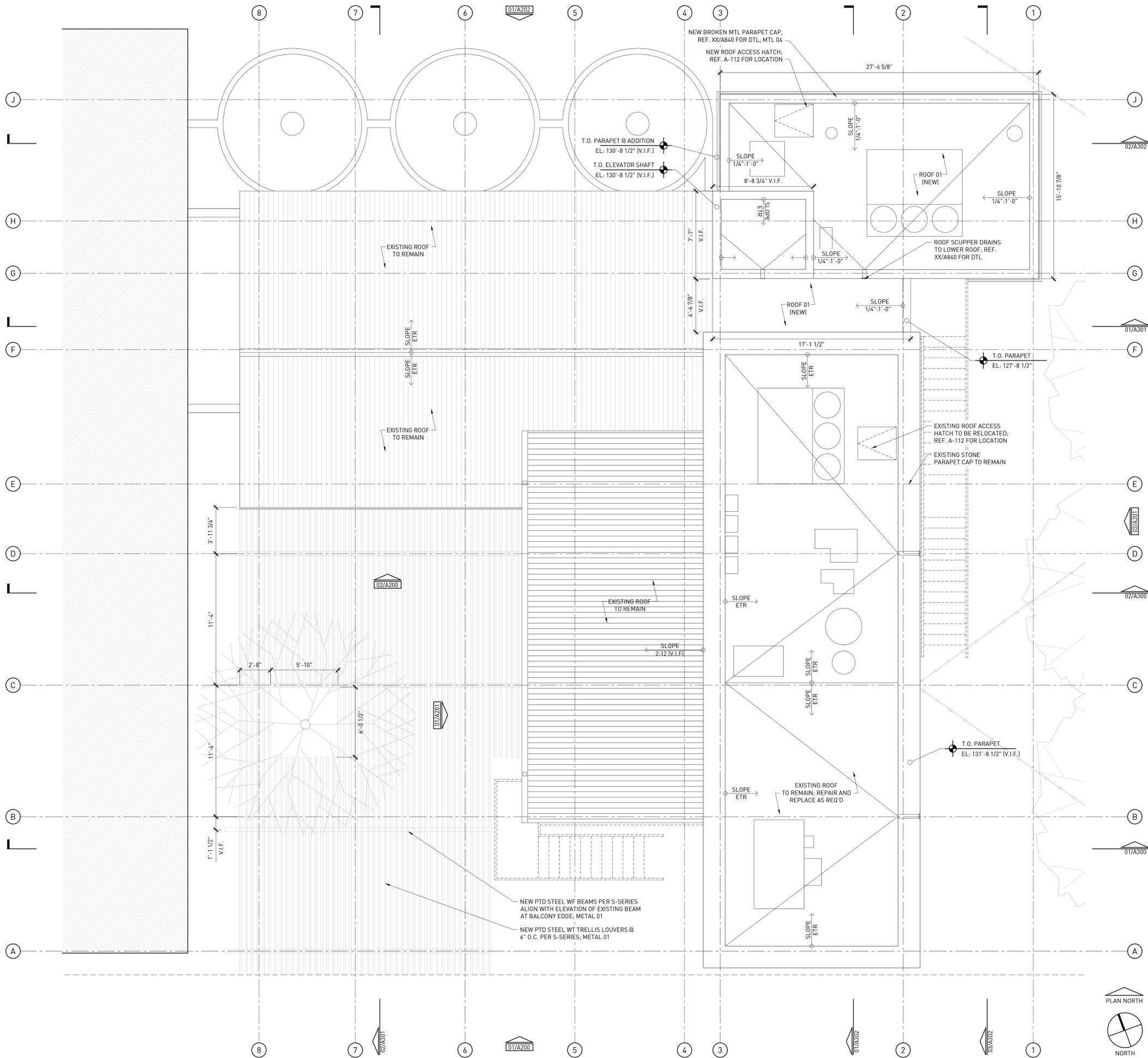


04/26/2021

FLOOR PLAN
SECOND FLOOR

date plotted: 26 APRIL 2021
scale: 1/4"=1'-0"

A-102



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PLAN LEGEND

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- NEW FRAMED WALLS
- SECTION TAG
- ELEVATION TAG
- INTERIOR ELEVATION TAG
- SPOT ELEVATION TAG
- ROOM TAG
- DOOR DESIGNATION
(REF DOOR SCHEDULE)
- WINDOW DESIGNATION
(REF WINDOW SCHEDULE)
- PLUMBING FIXTURE TAG
(REF PLUMBING SCHEDULE)
- APPLIANCE TAG
(REF APPLIANCE SCHEDULE)
- PARTITION TYPE
(REF WALL SCHEDULE)
- SMOKE/CARBON MONOXIDE DETECTOR
(REF LIGHTING SCHEDULE)
- CENTER LINE

DRAWING NOTES

notes:

revision:

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LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

ROOF PLAN

date plotted: 26 APRIL 2021
scale: 1/4"=1'-0"

A-103

PREP / WAIT (106)	
LOCATION	DESIGNATION
FLOOR	FLOORING 01
BASE	BASE 02
WALLS	FRP 01
CEILING	ACT 01
COUNTERTOPS	METAL 03

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PLAN DETAILS

AREA:	SEATING:
DINING ROOM - 1115 SF	TABLES - 40 SEATS
BAR - 126 SF	BANQUETTE - 22 SEATS
KITCHEN/BOH - 676 SF	BOOTHS - 8 SEATS
RESTROOMS - 248 SF	
TOTAL INDOOR:	70 SEATS
	BAR - 33 SEATS
	OUTDOOR (BAR) - 24
	OUTDOOR (COURT) - 60
TOTAL SEATING:	187 SEATS

PLAN LEGEND

	EXISTING WALLS
	NEW FRAMED WALLS
	SECTION TAG
	ELEVATION TAG
	INTERIOR ELEVATION TAG
	SPOT ELEVATION TAG
	ROOM TAG
	DOOR DESIGNATION (REF DOOR SCHEDULE)
	WINDOW DESIGNATION (REF WINDOW SCHEDULE)
	PLUMBING FIXTURE TAG (REF PLUMBING SCHEDULE)
	APPLIANCE TAG (REF APPLIANCE SCHEDULE)
	PARTITION TYPE (REF WALL SCHEDULE)
	SMOKE/CARBON MONOXIDE DETECTOR (REF LIGHTING SCHEDULE)
	CENTER LINE

DRAWING NOTES

baldrigeARCHITECTS

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info@baldrige-architects.com
www.baldrige-architects.com

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notes:

revision:

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LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215

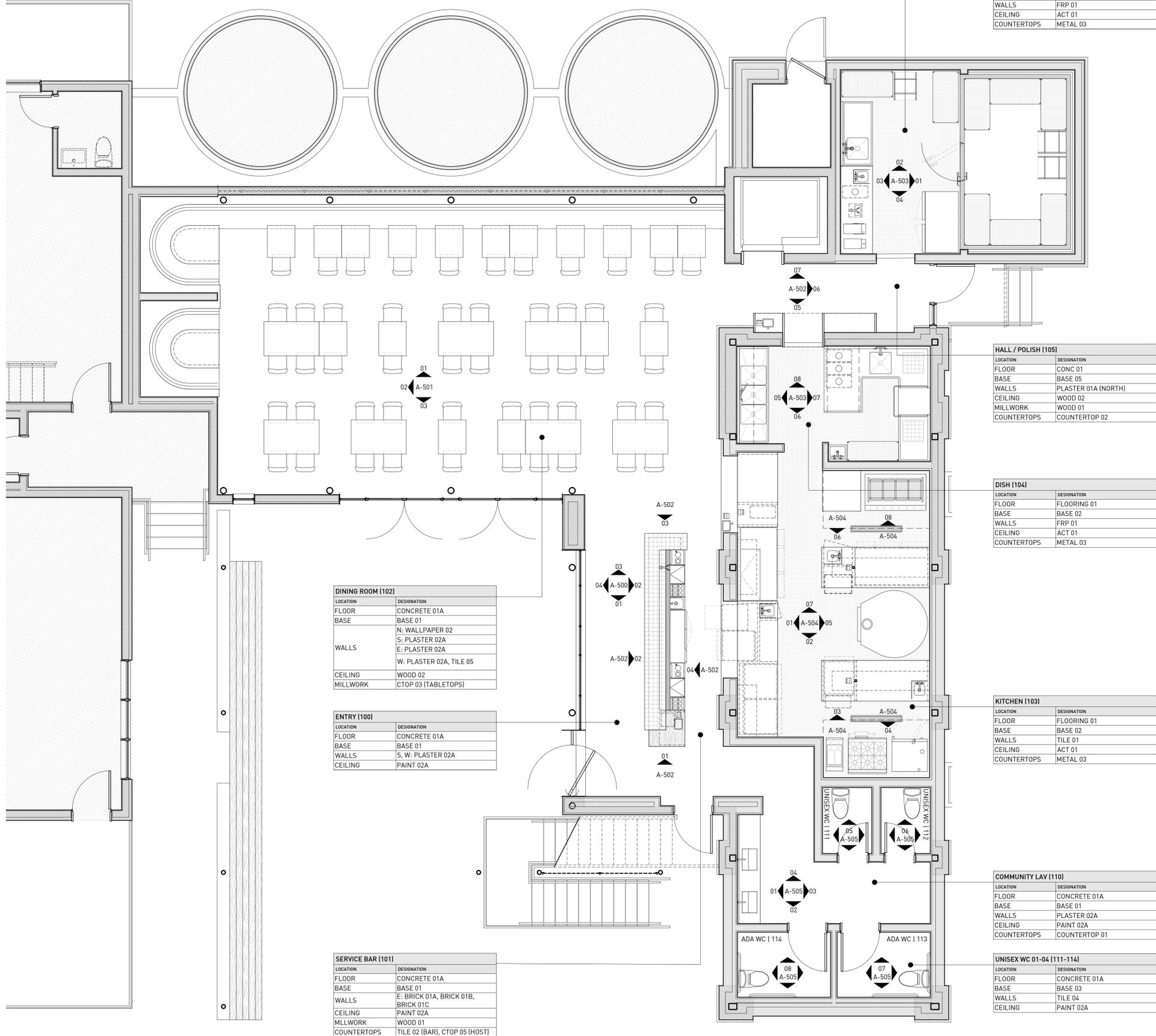


04/26/2021

FINISH PLAN
FIRST FLOOR

date plotted: 26 APRIL 2021
scale: 1/4"=1'-0"

A-104



DINING ROOM (102)	
LOCATION	DESIGNATION
FLOOR	CONCRETE 01A
BASE	BASE 01
WALLS	N: WALLPAPER 02 S: PLASTER 02A E: PLASTER 02A W: PLASTER 02A, TILE 05
CEILING	WOOD 02
MILLWORK	CTOP 03 (TABLETOPS)

ENTRY (100)	
LOCATION	DESIGNATION
FLOOR	CONCRETE 01A
BASE	BASE 01
WALLS	S, W: PLASTER 02A
CEILING	PAINT 02A

SERVICE BAR (101)	
LOCATION	DESIGNATION
FLOOR	CONCRETE 01A
BASE	BASE 01
WALLS	E: BRICK 01A, BRICK 01B, BRICK 01C
CEILING	PAINT 02A
MILLWORK	WOOD 01
COUNTERTOPS	TILE 02 (BAR), CTOP 05 (HOST)

HALL / POLISH (105)	
LOCATION	DESIGNATION
FLOOR	CONC 01
BASE	BASE 05
WALLS	PLASTER 01A (NORTH)
CEILING	WOOD 02
MILLWORK	WOOD 01
COUNTERTOPS	COUNTERTOP 02

DISH (104)	
LOCATION	DESIGNATION
FLOOR	FLOORING 01
BASE	BASE 02
WALLS	FRP 01
CEILING	ACT 01
COUNTERTOPS	METAL 03

KITCHEN (103)	
LOCATION	DESIGNATION
FLOOR	FLOORING 01
BASE	BASE 02
WALLS	TILE 01
CEILING	ACT 01
COUNTERTOPS	METAL 03

COMMUNITY LAV (110)	
LOCATION	DESIGNATION
FLOOR	CONCRETE 01A
BASE	BASE 01
WALLS	PLASTER 02A
CEILING	PAINT 02A
COUNTERTOPS	COUNTERTOP 01

UNISEX WC 01-04 (111-114)	
LOCATION	DESIGNATION
FLOOR	CONCRETE 01A
BASE	BASE 03
WALLS	TILE 04
CEILING	PAINT 02A



notes:

revision:

210426 ISSUE FOR PERMIT

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200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

FINISH PLAN
SECOND FLOOR

date plotted: 26 APRIL 2021
scale: 1/4"=1'-0"

A-105

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PLAN DETAILS

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PLAN LEGEND

- EXISTING WALLS
- NEW FRAMED WALLS
- SECTION TAG
- ELEVATION TAG
- INTERIOR ELEVATION TAG
- SPOT ELEVATION TAG
- ROOM TAG
- DOOR DESIGNATION
(REF DOOR SCHEDULE)
- WINDOW DESIGNATION
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- PLUMBING FIXTURE TAG
(REF PLUMBING SCHEDULE)
- APPLIANCE TAG
(REF APPLIANCE SCHEDULE)
- PARTITION TYPE
(REF WALL SCHEDULE)
- SMOKE/CARBON MONOXIDE DETECTOR
(REF LIGHTING SCHEDULE)
- CENTER LINE

DRAWING NOTES

LOCATION	DESIGNATION
FLOOR	CONCRETE 01A
BASE	BASE 01
WALLS	PAINT 01
CEILING	PAINT 02A
COUNTERTOPS	COUNTERTOP 02

LOCATION	DESIGNATION
FLOOR	FLOORING 01
BASE	BASE 02
WALLS	FRP 01
CEILING	ACT 01
COUNTERTOPS	WOOD 03

LOCATION	DESIGNATION
FLOOR	CONCRETE 01A
BASE	BASE 05 (N), BASE 01(W)
WALLS	PLASTER 01 (N), PAINT 01 (W)
CEILING	PAINT 02A

LOCATION	DESIGNATION
FLOOR	FLOORING 01
BASE	BASE 02
WALLS	PAINT 01
CEILING	ACT 01

LOCATION	DESIGNATION
FLOOR	FLOORING 01
BASE	BASE 02
WALLS	E-TILE 03, BRICK 01A
CEILING	PAINT 02A
MILLWORK	WOOD 01 BAR: TILE 03 BAR EDGE: CTOP 04
COUNTERTOPS	TILE 03

LOCATION	DESIGNATION
FLOOR	CONCRETE 01A
BASE	BASE 01
WALLS	GWB PT01A, PANEL 01
CEILING	PAINT 02A
MILLWORK	CTOP 03 (TABLETOPS)



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8. REFERENCE PARTITION SCHEDULE A-701 FOR DETAILS REGARDING WALL COMPOSITION AND REQUIRED FIRE RATINGS. REFERENCE A-805 FOR BASE DETAILS.
9. ALL GLOBAL ELEVATIONS PROVIDED ARE RELATIVE TO A BENCHMARK TBD BY ARCHITECT AND CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION
10. BLOCKING TO BE PROVIDED FOR ALL PLUMBING FIXTURES, MILLWORK, HANDRAILS, BATHROOM HARDWARE, SHELVING, AND EQUIPMENT AS REQUIRED BY MANUFACTURER AND/OR INSTALLER. FINAL CONFIRMATION OF BLOCKING LOCATIONS TO BE CONFIRMED BY ARCHITECT, ANY RELATED TRADE CONTRACTORS, AND CLIENTS PRIOR TO CLOSING UP WALLS.

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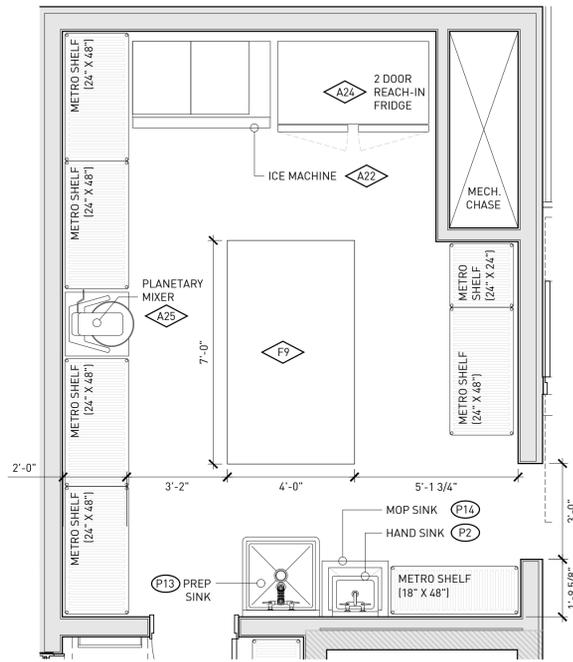
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notes:

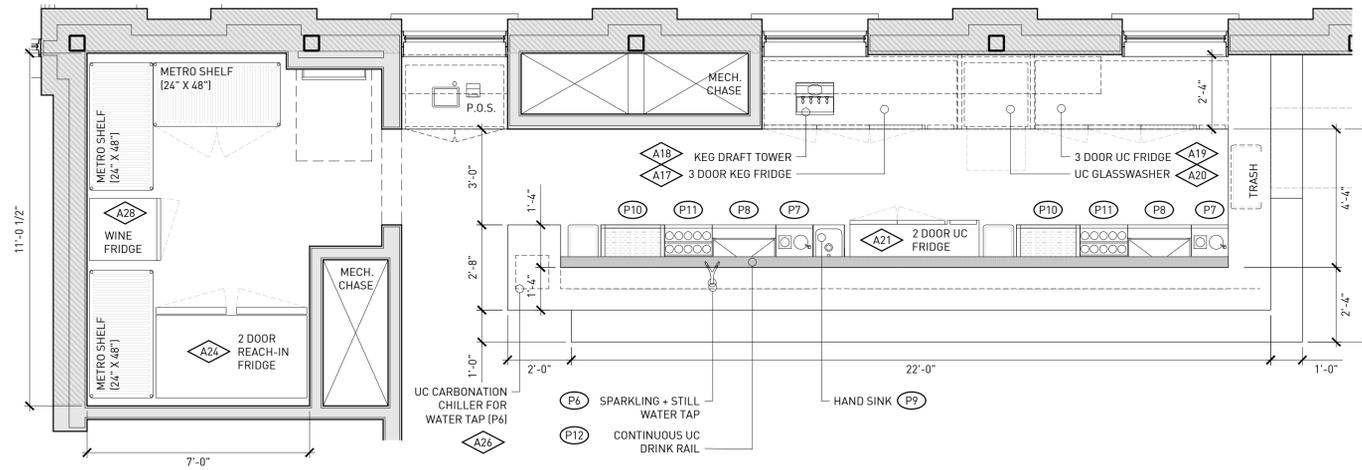
revision:

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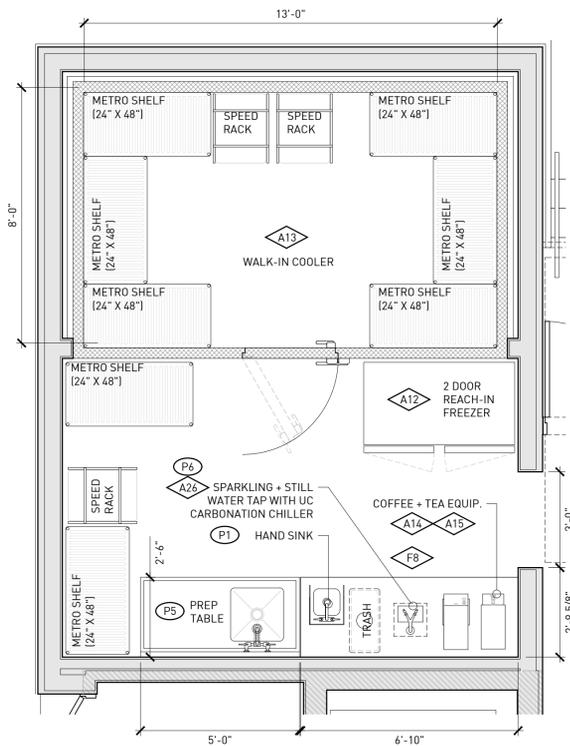
04 ENLARGED PLAN - DRY STORAGE / PREP (205)

SCALE: 3/8" = 1'-0"



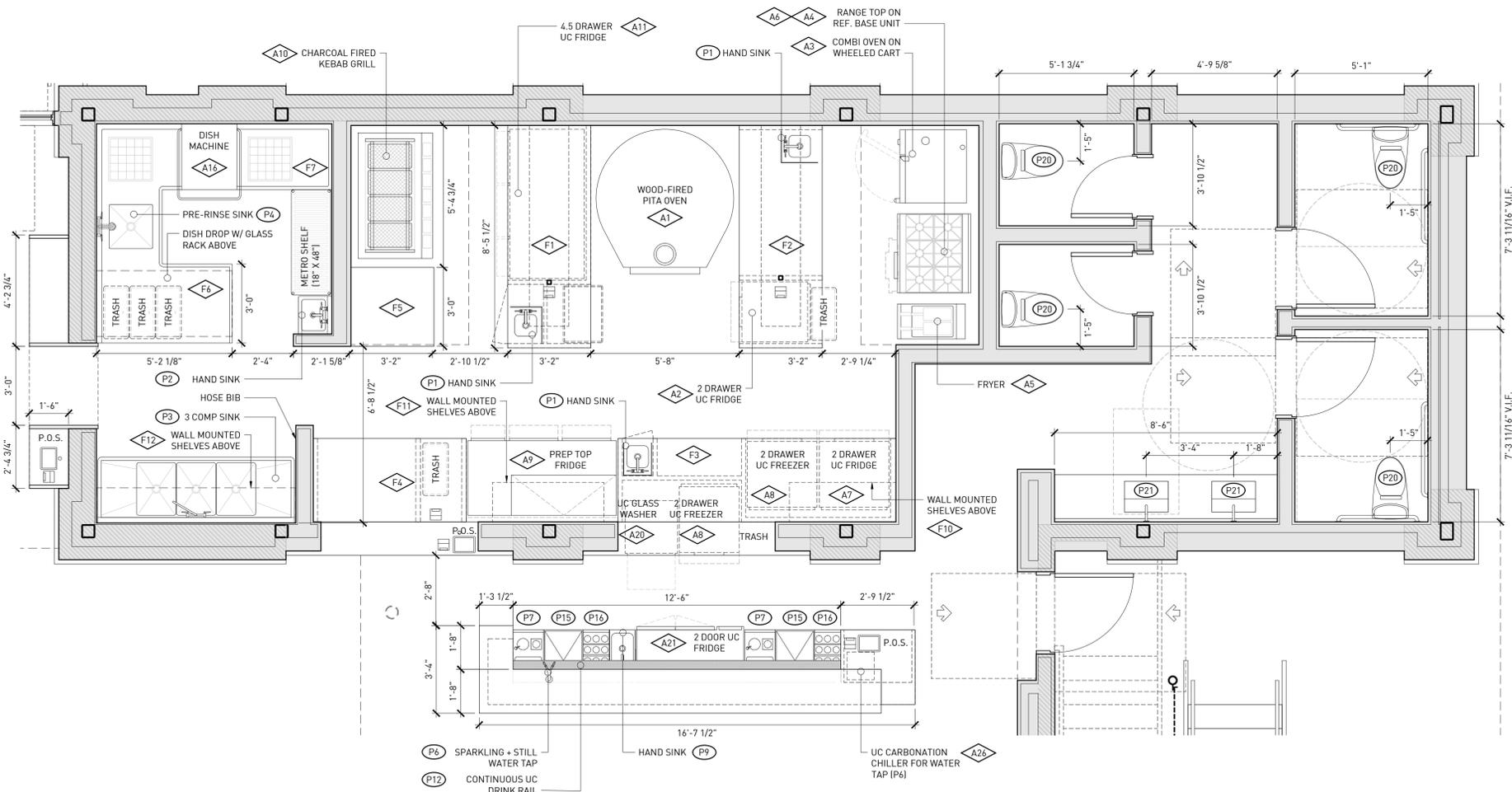
03 ENLARGED PLAN - BAR (201)

SCALE: 3/8" = 1'-0"



02 ENLARGED PLAN - PREP (106)

SCALE: 3/8" = 1'-0"



01 ENLARGED PLAN - KITCHEN + RESTROOM

SCALE: 3/8" = 1'-0"

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215

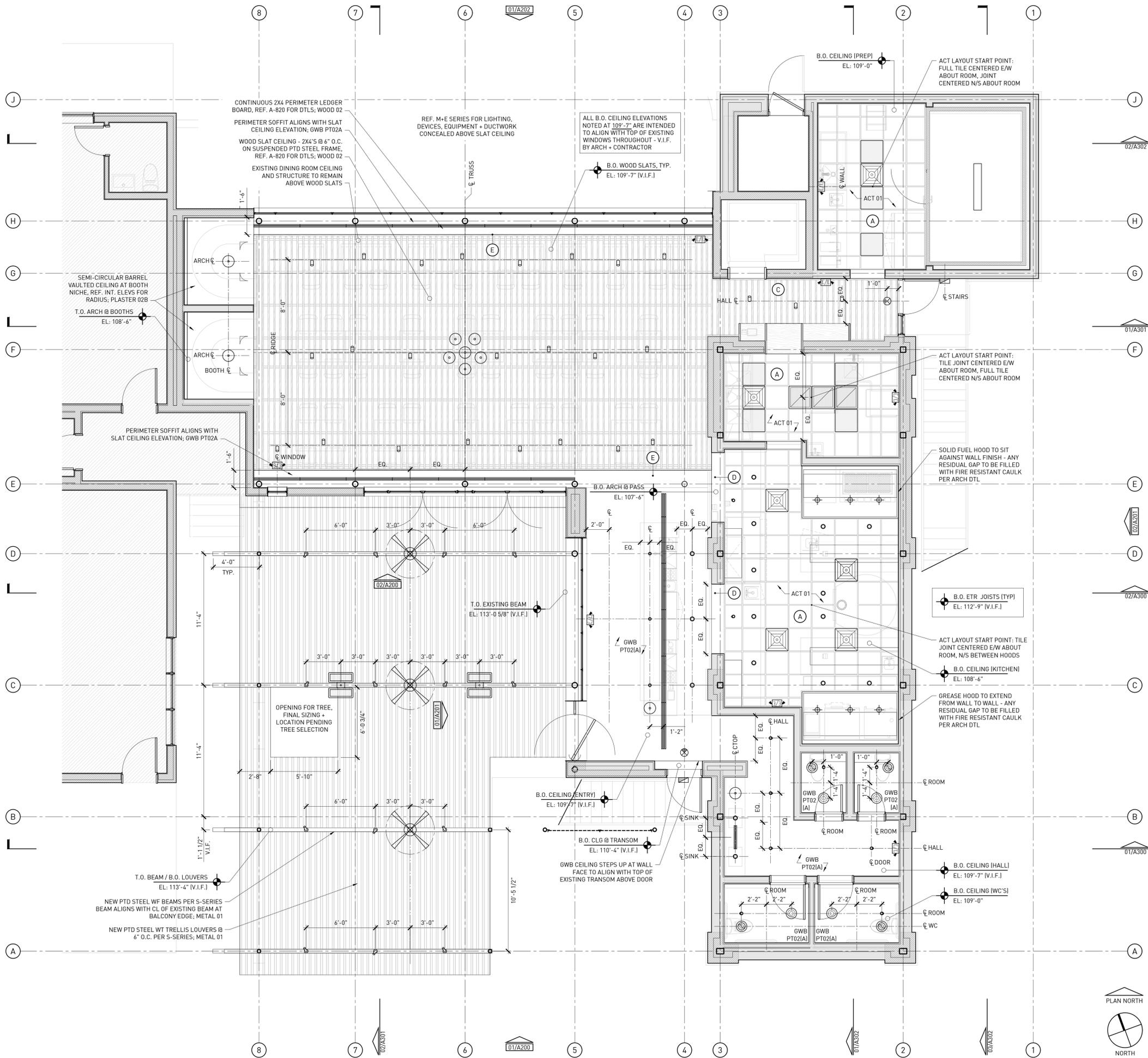


04/26/2021

ENLARGED PLAN
KITCHEN + RESTROOMS

date plotted: 26 APRIL 2021
scale: 3/8"=1'-0"

A-106



GENERAL NOTES

1. ALL CONFLICTS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PERFORMING WORK
2. DO NOT SCALE DRAWINGS. ANY MEASUREMENTS NOT SPECIFICALLY CALLED OUT IN THESE DRAWINGS TO BE PROVIDED BY ARCHITECT UPON REQUEST. DIMENSIONS SHOWN SHALL GOVERN LOCATION, SIZES, ETC. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE. CONSULT ARCHITECT IF CONFLICT OR QUESTIONS ARISE.
3. ALL DIMENSIONS ARE STRUNG FROM FACE OF FINISH OF NEW WALLS, U.O.N.
4. ALL DIMENSIONS INVOLVING EXISTING EXTERIOR OR DEMISING WALLS STRUNG FROM FACE OF EXISTING FINISHED SURFACE, UON
5. BOTTOM FINISHED SURFACE OF ALL CEILINGS AS NOTED IN DRAWINGS. REF. REFLECTED CEILING PLAN A-111 + A-112 FOR CEILING DETAILS AND FINISHES
6. ALL DOOR KNOBS TO BE MOUNTED AT 3'-1" AFF, U.O.N.
7. ALL INTERIOR PARTITIONS SUPPORTING POCKET DOORS AND OR PLUMBING TO BE CONSTRUCTED WITH 6" FRAMING, U.O.N.
8. REFERENCE PARTITION SCHEDULE A-701 FOR DETAILS REGARDING WALL COMPOSITION AND REQUIRED FIRE RATINGS. REFERENCE A-805 FOR BASE DETAILS.
9. ALL GLOBAL ELEVATIONS PROVIDED ARE RELATIVE TO A BENCHMARK TBD BY ARCHITECT AND CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION
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FIRE RESISTANCE RATINGS

1. FIRE RESISTANCE RATINGS OF ALL STRUCTURAL BUILDING MATERIALS MUST MEET OR EXCEED THOSE REQUIRED BY CODE FOR THE STATED BUILDING AND OCCUPANCY TYPE.
2. ALL PROPOSED UL LISTED BUILDING ASSEMBLIES TO BE APPROVED BY THE ARCHITECT AND LOCAL GOVERNING BODY PRIOR TO CONSTRUCTION

PLAN DETAILS

AREA:	DINING ROOM - 1115 SF BAR - 126 SF KITCHEN/BOH - 676 SF RESTROOMS - 248 SF
SEATING:	TABLES - 40 SEATS BANQUETTE - 22 SEATS BOOTH - 8 SEATS
TOTAL INDOOR:	70 SEATS
TOTAL SEATING:	BAR - 33 SEATS OUTDOOR (BAR) - 24 OUTDOOR (COURT) - 60 187 SEATS

PLAN LEGEND

- EXISTING WALLS
- NEW FRAMED WALLS
- SECTION TAG
- ELEVATION TAG
- INTERIOR ELEVATION TAG
- SPOT ELEVATION TAG
- ROOM TAG
- DOOR DESIGNATION (REF DOOR SCHEDULE)
- WINDOW DESIGNATION (REF WINDOW SCHEDULE)
- PLUMBING FIXTURE TAG (REF PLUMBING SCHEDULE)
- APPLIANCE TAG (REF APPLIANCE SCHEDULE)
- PARTITION TYPE (REF WALL SCHEDULE)
- SMOKE/CARBON MONOXIDE DETECTOR (REF LIGHTING SCHEDULE)
- CENTER LINE

DRAWING NOTES

1. ALL FIXTURES IN ACT CEILING ALIGN TO CL OF TILE AS SHOWN U.O.N.
2. CONCEALED HINGED GWB ACCESS PANEL (BAUCO OR SIM.) TO MATCH CEILING FINISH FOR AHU'S ABOVE. COORDINATE FINAL SIZING AND LOCATION W/ MECHANICAL REQUIREMENTS.
3. PORTION OF SLATTED CEILING IN THIS AREA TO BE REMOVABLE TO ALLOW ACCESS TO MECHANICAL EQUIPMENT ABOVE. COORDINATE FINAL SIZING AND LOCATION W/ MECHANICAL REQUIREMENTS.
4. BRICK ARCHED OPENING AT PASS WINDOW; BRICK 01C. REF. INT ELEVATIONS FOR RADIUS + DIMENSIONS, REF. XX/A820 FOR DTLS
5. B.O. GWB CEILING ALIGNS WITH B.O. WOOD CEILING, REF. XX/A820 FOR DTLS

notes:

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LADINO
 200 E GRAYSON ROAD SUITE 100
 SAN ANTONIO, TX 78215



04/26/2021

REFLECTED CEILING PLAN
FIRST FLOOR

date plotted: 26 APRIL 2021
scale: 1/4"=1'-0"

A-111



GENERAL NOTES

1. ALL CONFLICTS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PERFORMING WORK
2. DO NOT SCALE DRAWINGS. ANY MEASUREMENTS NOT SPECIFICALLY CALLED OUT IN THESE DRAWINGS TO BE PROVIDED BY ARCHITECT UPON REQUEST. DIMENSIONS SHOWN SHALL GOVERN LOCATION, SIZES, ETC. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE. CONSULT ARCHITECT IF CONFLICT OR QUESTIONS ARISE.
3. ALL DIMENSIONS ARE STRUNG FROM FACE OF FINISH OF NEW WALLS, U.O.N.
4. ALL DIMENSIONS INVOLVING EXISTING EXTERIOR OR DEMISING WALLS STRUNG FROM FACE OF EXISTING FINISHED SURFACE, UON
5. BOTTOM FINISHED SURFACE OF ALL CEILINGS AS NOTED IN DRAWINGS. REF. REFLECTED CEILING PLAN A-111 + A-112 FOR CEILING DETAILS AND FINISHES
6. ALL DOOR KNOBS TO BE MOUNTED AT 3'-1" AFF, U.O.N.
7. ALL INTERIOR PARTITIONS SUPPORTING POCKET DOORS AND OR PLUMBING TO BE CONSTRUCTED WITH 6" FRAMING, U.O.N.
8. REFERENCE PARTITION SCHEDULE A-701 FOR DETAILS REGARDING WALL COMPOSITION AND REQUIRED FIRE RATINGS. REFERENCE A-805 FOR BASE DETAILS.
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PLAN DETAILS

AREA:	DINING ROOM - 1115 SF BAR - 126 SF KITCHEN/BOH - 676 SF RESTROOMS - 248 SF
SEATING:	TABLES - 40 SEATS BANQUETTE - 22 SEATS BOOTHs - 8 SEATS
TOTAL INDOOR:	70 SEATS
	BAR - 33 SEATS OUTDOOR (BAR) - 24 OUTDOOR (COURT) - 60
TOTAL SEATING:	187 SEATS

PLAN LEGEND

- EXISTING WALLS
- NEW FRAMED WALLS
- SECTION TAG
- ELEVATION TAG
- INTERIOR ELEVATION TAG
- SPOT ELEVATION TAG
- ROOM TAG
- DOOR DESIGNATION (REF DOOR SCHEDULE)
- WINDOW DESIGNATION (REF WINDOW SCHEDULE)
- PLUMBING FIXTURE TAG (REF PLUMBING SCHEDULE)
- APPLIANCE TAG (REF APPLIANCE SCHEDULE)
- PARTITION TYPE (REF WALL SCHEDULE)
- SMOKE/CARBON MONOXIDE DETECTOR (REF LIGHTING SCHEDULE)
- CENTER LINE

DRAWING NOTES

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2. CONCEALED HINGED GWB ACCESS PANEL (BAUCA OR SIM.) TO MATCH CEILING FINISH FOR AHU'S ABOVE. COORDINATE FINAL SIZING AND LOCATION W/ MECHANICAL REQUIREMENTS.
3. PENDANT LIGHTING CLUSTER MOUNTING LOCATIONS AND HEIGHTS TBD IN FIELD BY ARCH + CLIENT PENDING FINAL FIXTURE SELECTION

notes:

revision:

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200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

REFLECTED CEILING PLAN
SECOND FLOOR

date plotted: 26 APRIL 2021
scale: 1/4"=1'-0"

A-112

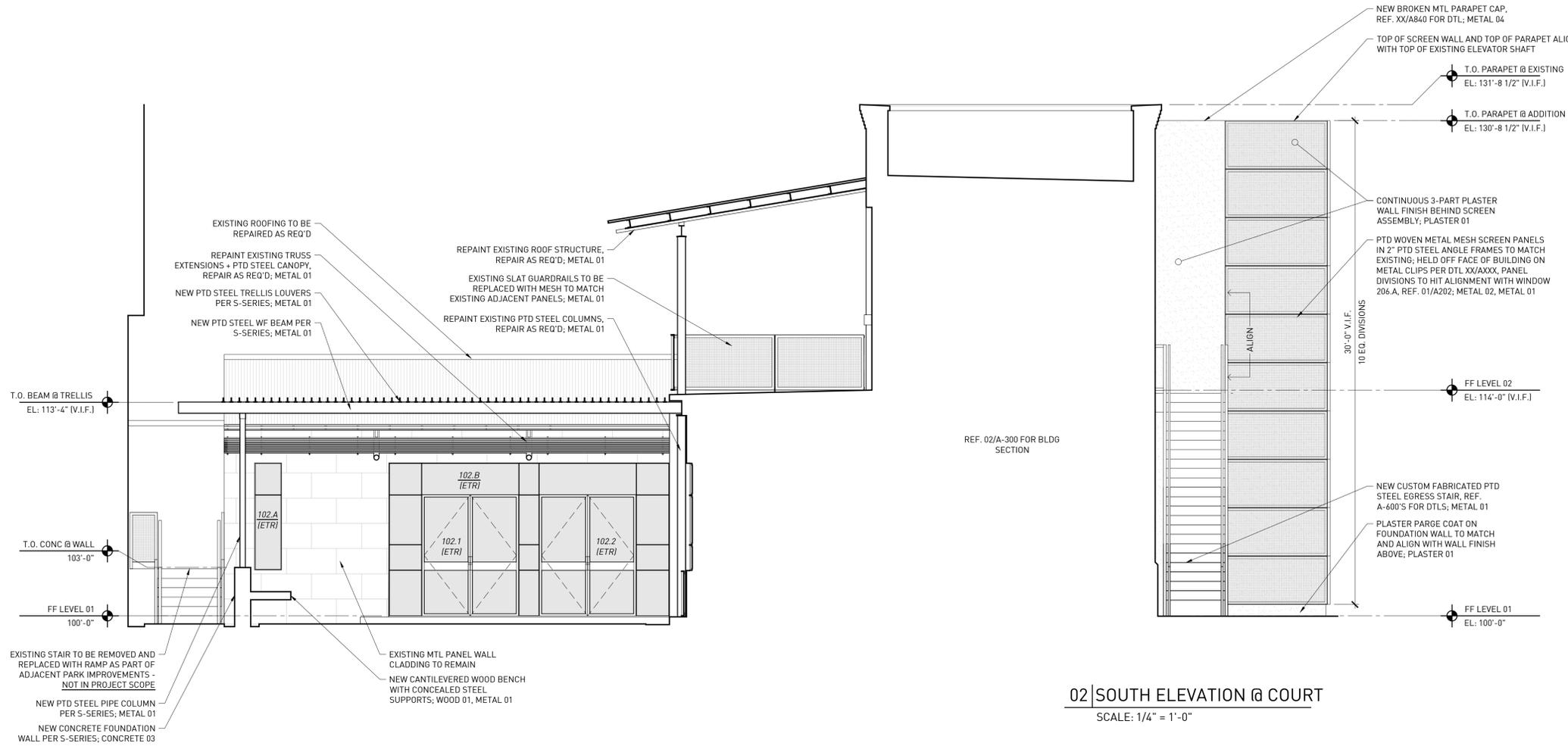
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revision:

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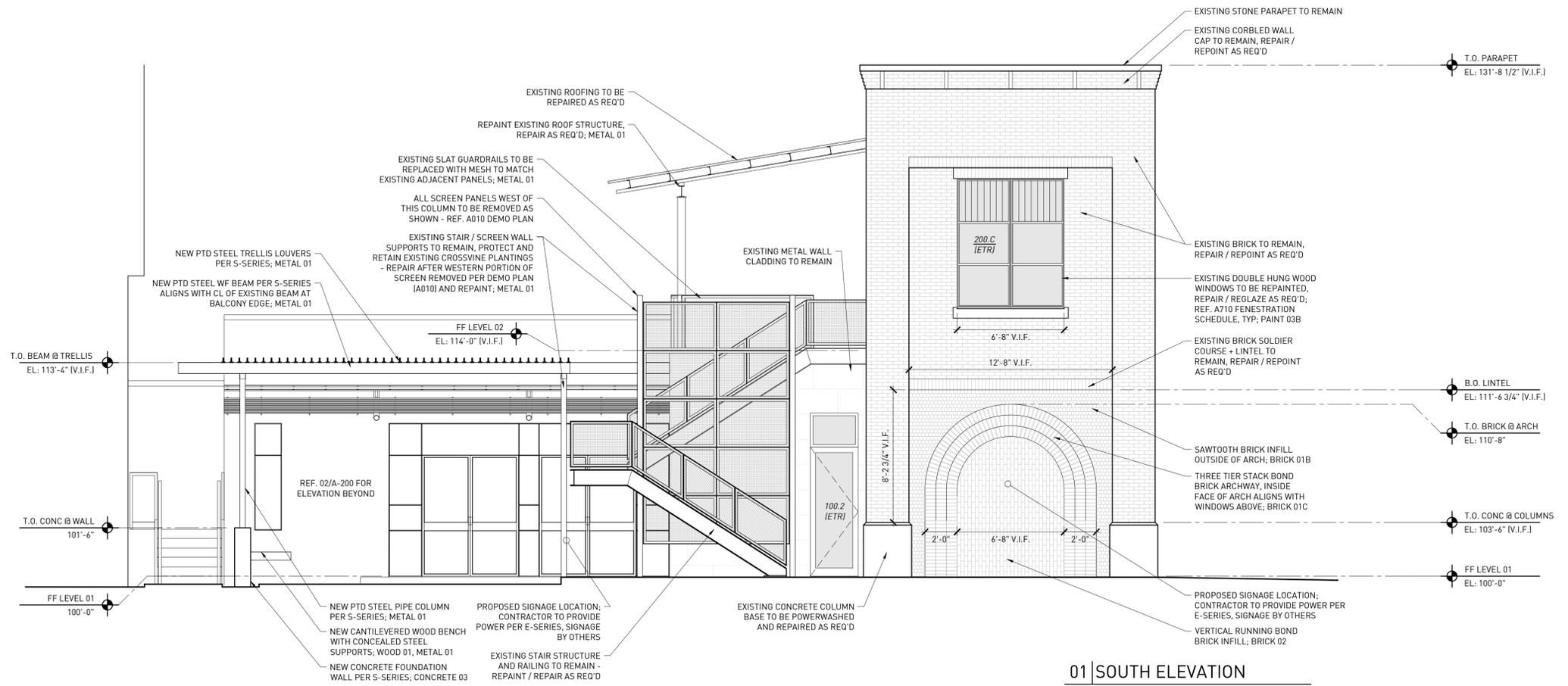
GENERAL NOTES

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02 | SOUTH ELEVATION @ COURT

SCALE: 1/4" = 1'-0"



01 | SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

EXTERIOR ELEVATIONS

date plotted: 26 APRIL 2021
scale: 1/4" = 1'-0"

A-200

GENERAL NOTES

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SAN ANTONIO, TX 78215

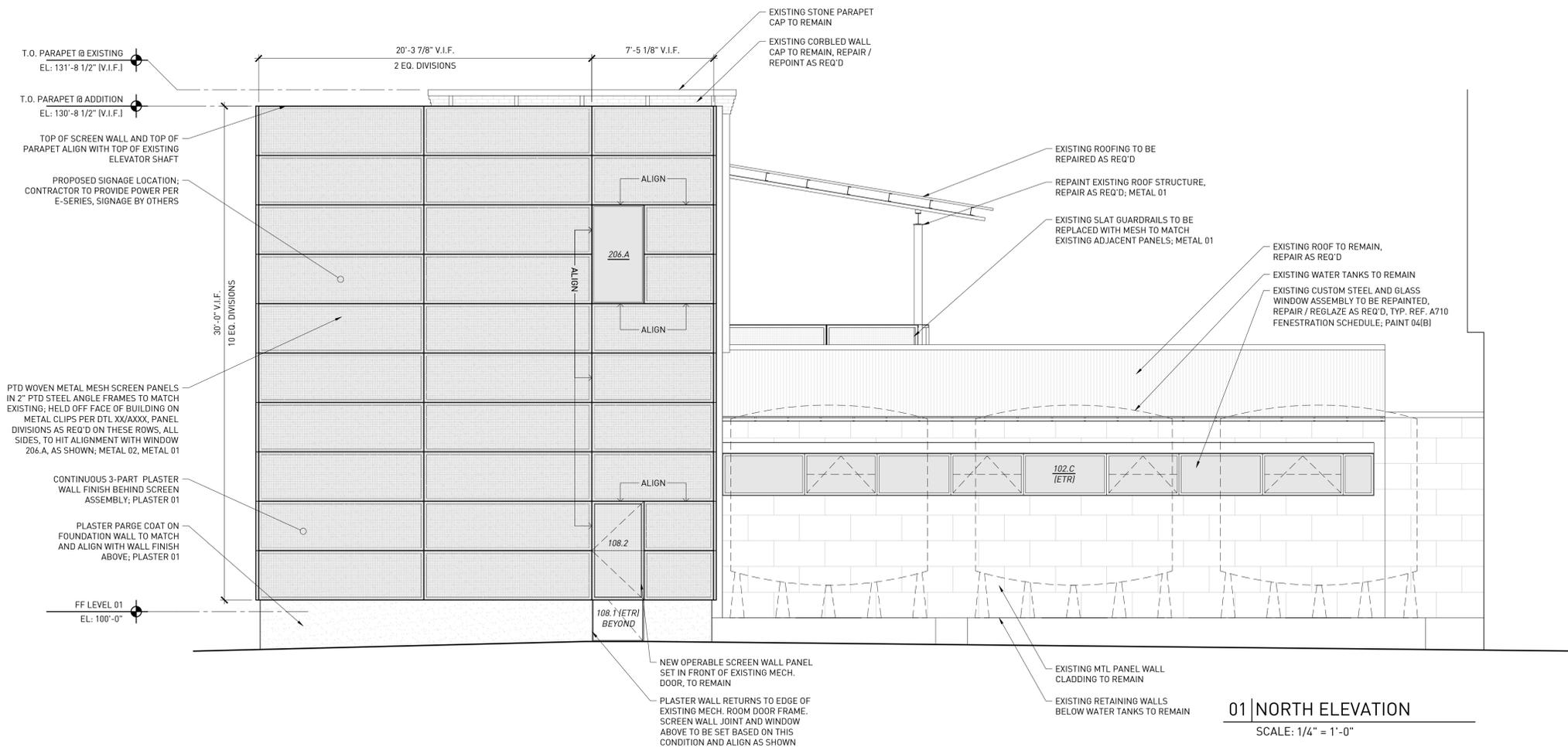


04/26/2021

EXTERIOR ELEVATIONS

date plotted: 26 APRIL 2021
scale: 1/4" = 1'-0"

A-202



01 | NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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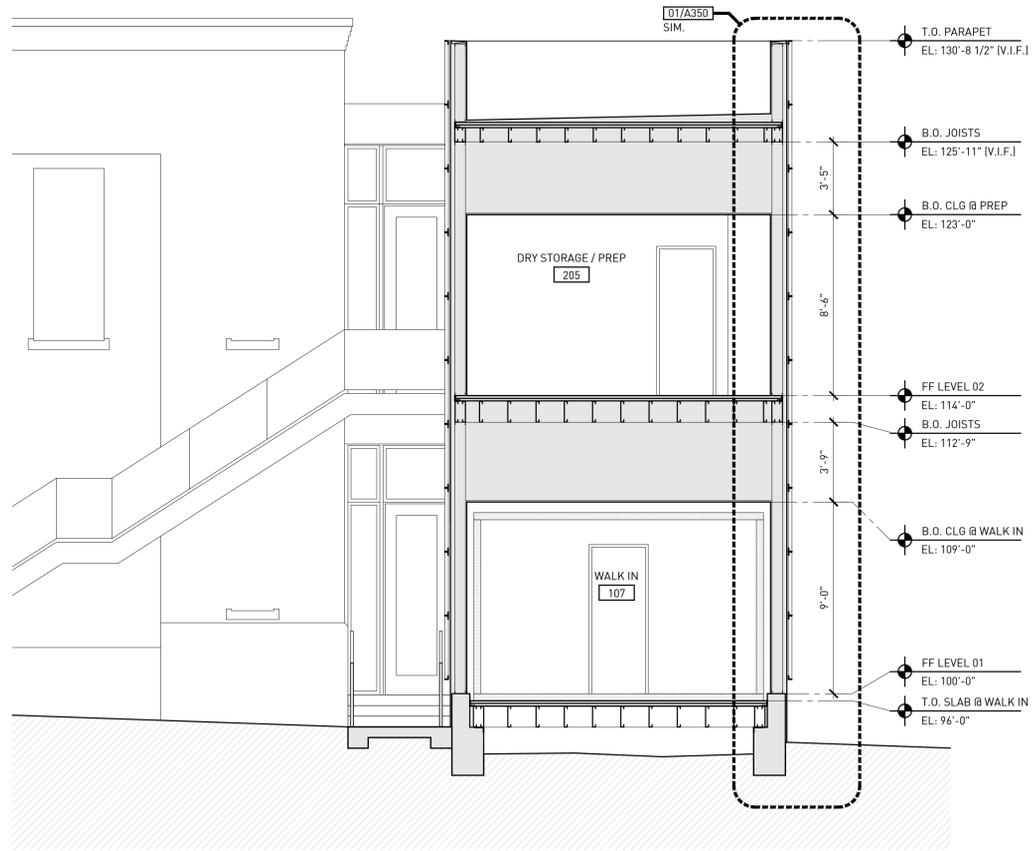
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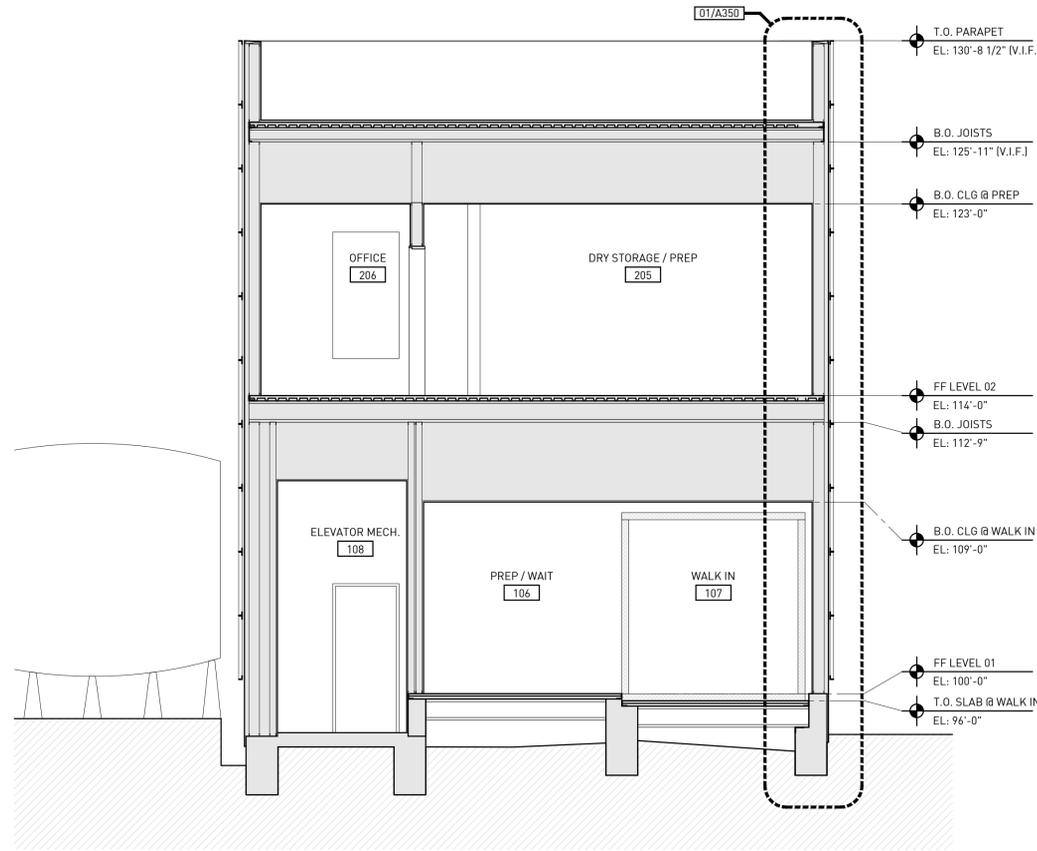
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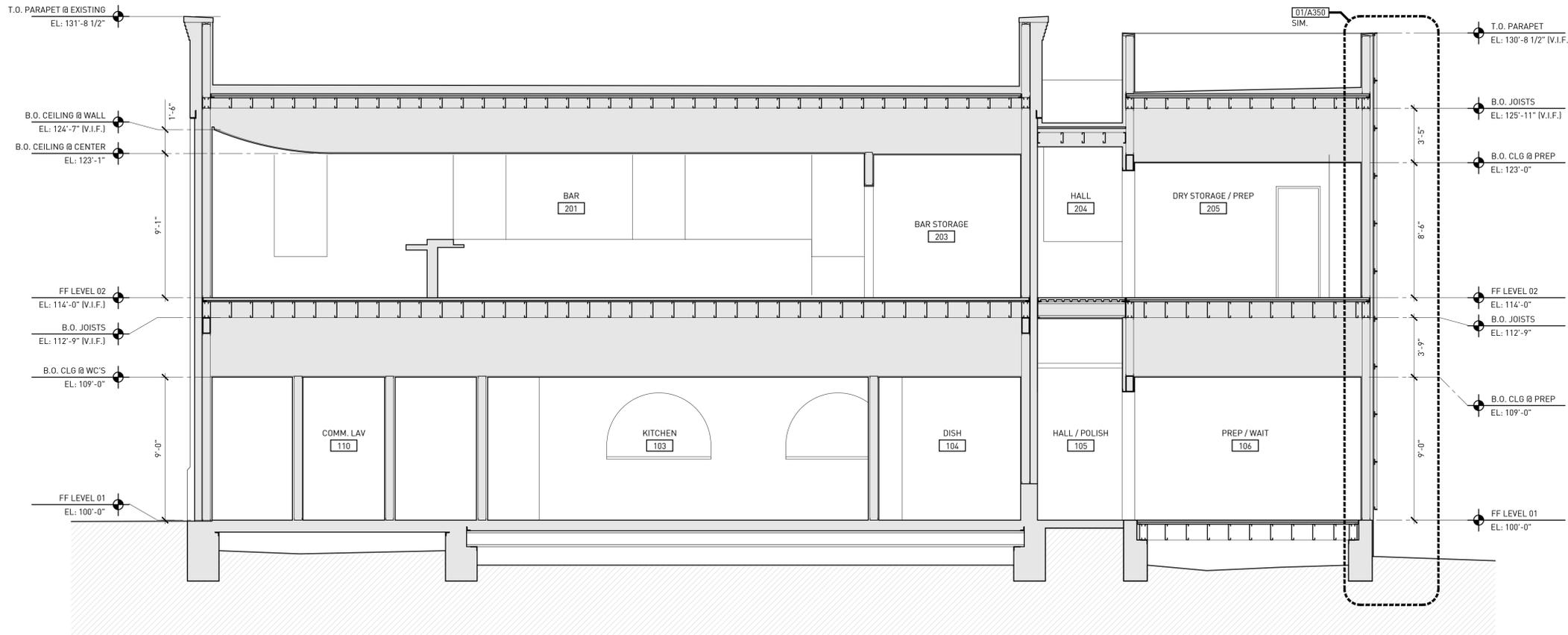
03 | N/S SECTION @ PREP

SCALE: 1/4" = 1'-0"



02 | E/W SECTION @ PREP

SCALE: 1/4" = 1'-0"



01 | N/S SECTION @ KITCHEN

SCALE: 1/4" = 1'-0"

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

BUILDING SECTIONS

date plotted: 26 APRIL 2021
scale: 1/4" = 1'-0"

A-302

notes:

revision:

210426 ISSUE FOR PERMIT

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200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215

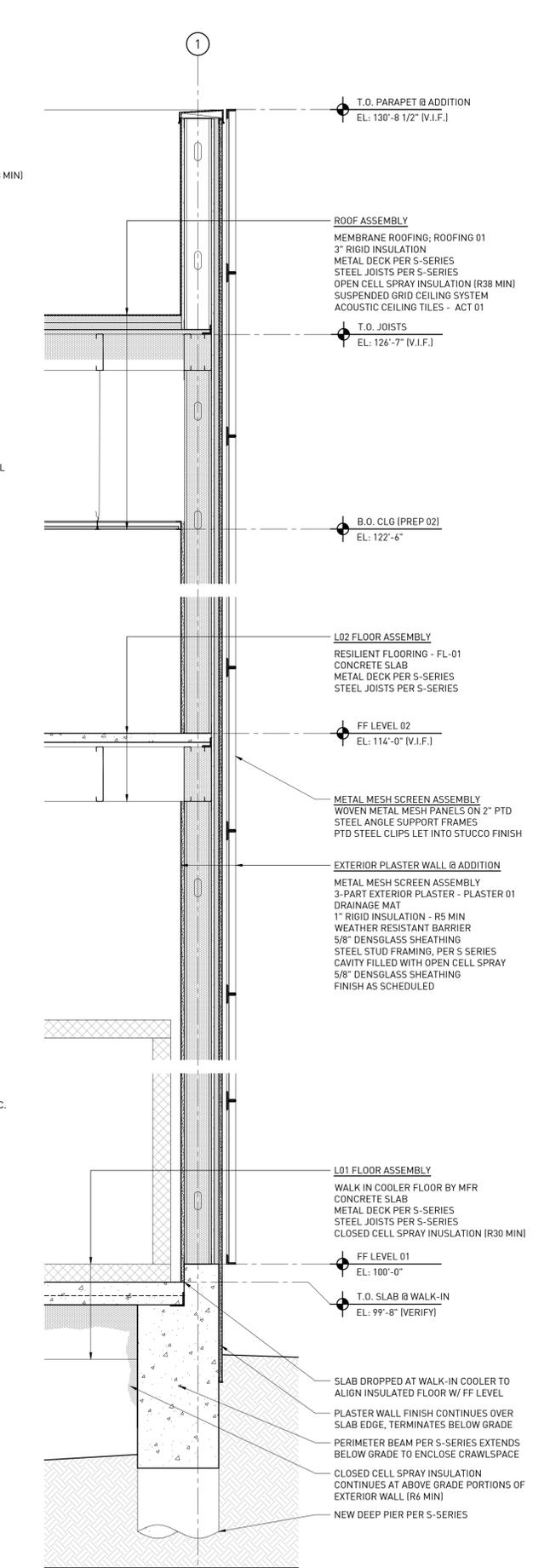


04/26/2021

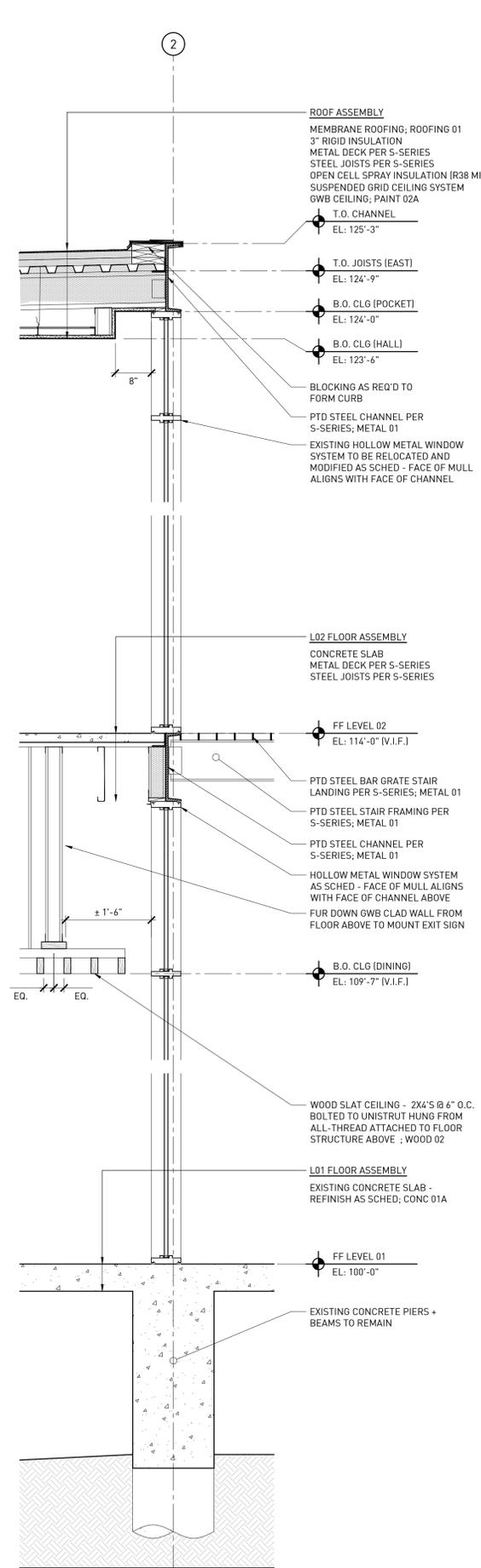
WALL SECTIONS

date plotted: 26 APRIL 2021
scale: 3/4" = 1'-0"

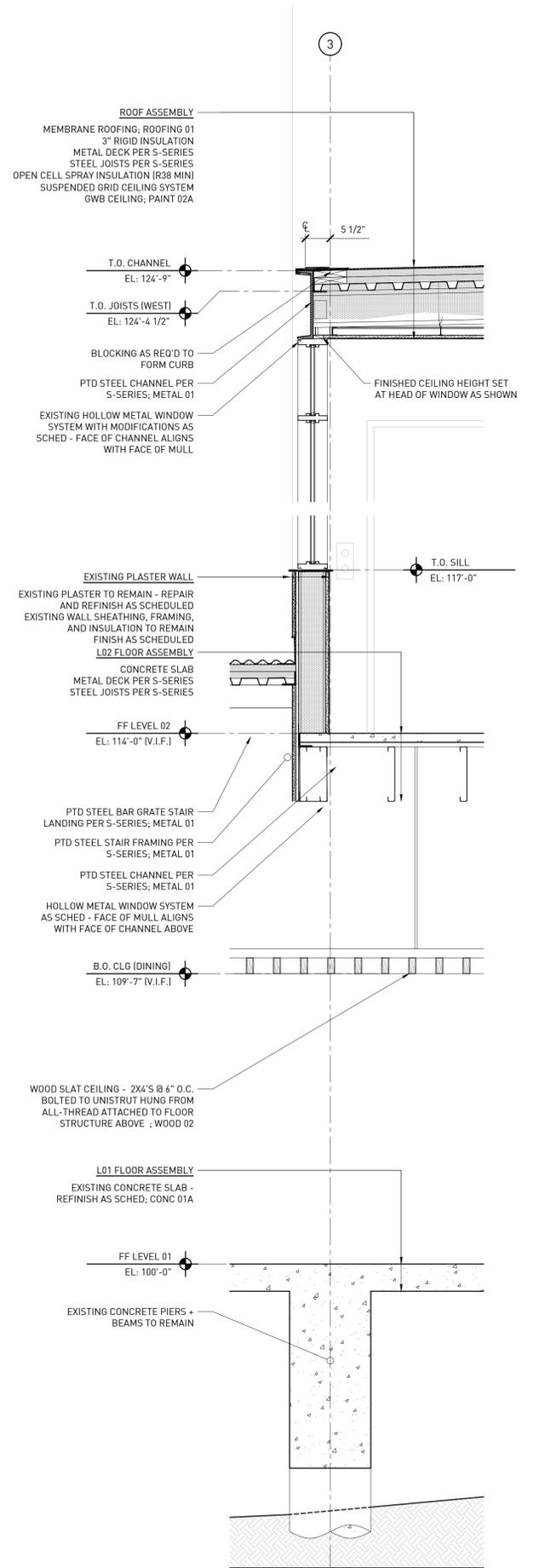
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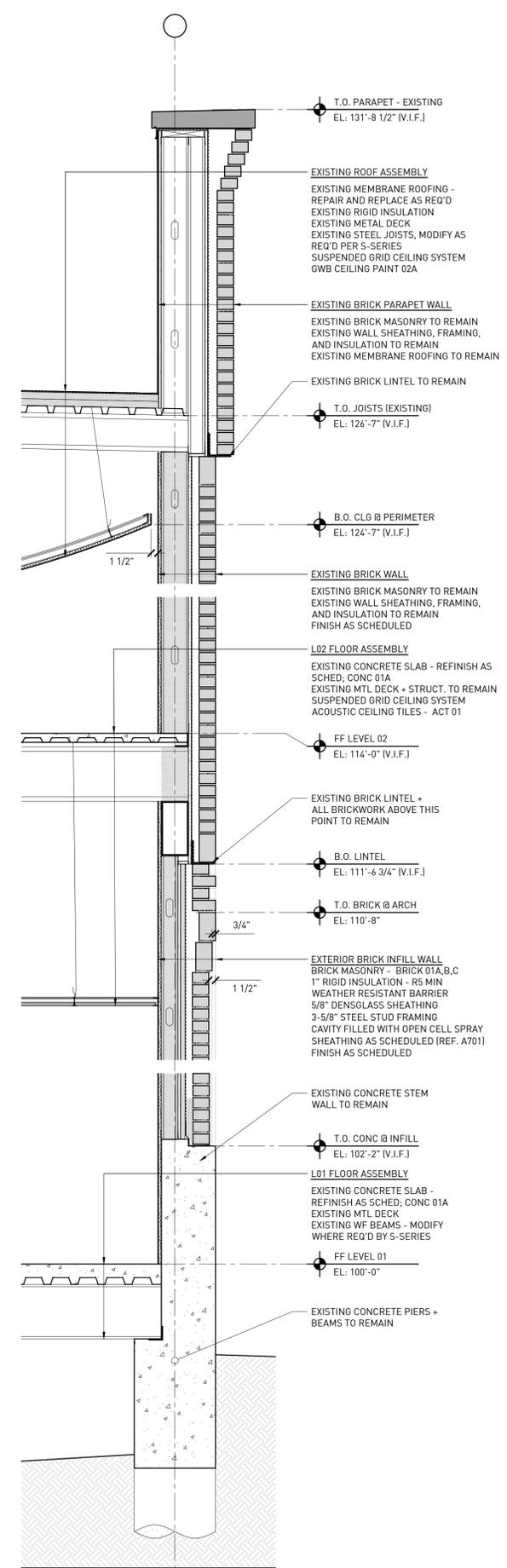
01 | EAST WALL @ ADDITION
SCALE: 3/4" = 1'-0"



02 | EAST WALL @ HALLWAY
SCALE: 3/4" = 1'-0"



03 | WEST WALL @ HALLWAY
SCALE: 3/4" = 1'-0"

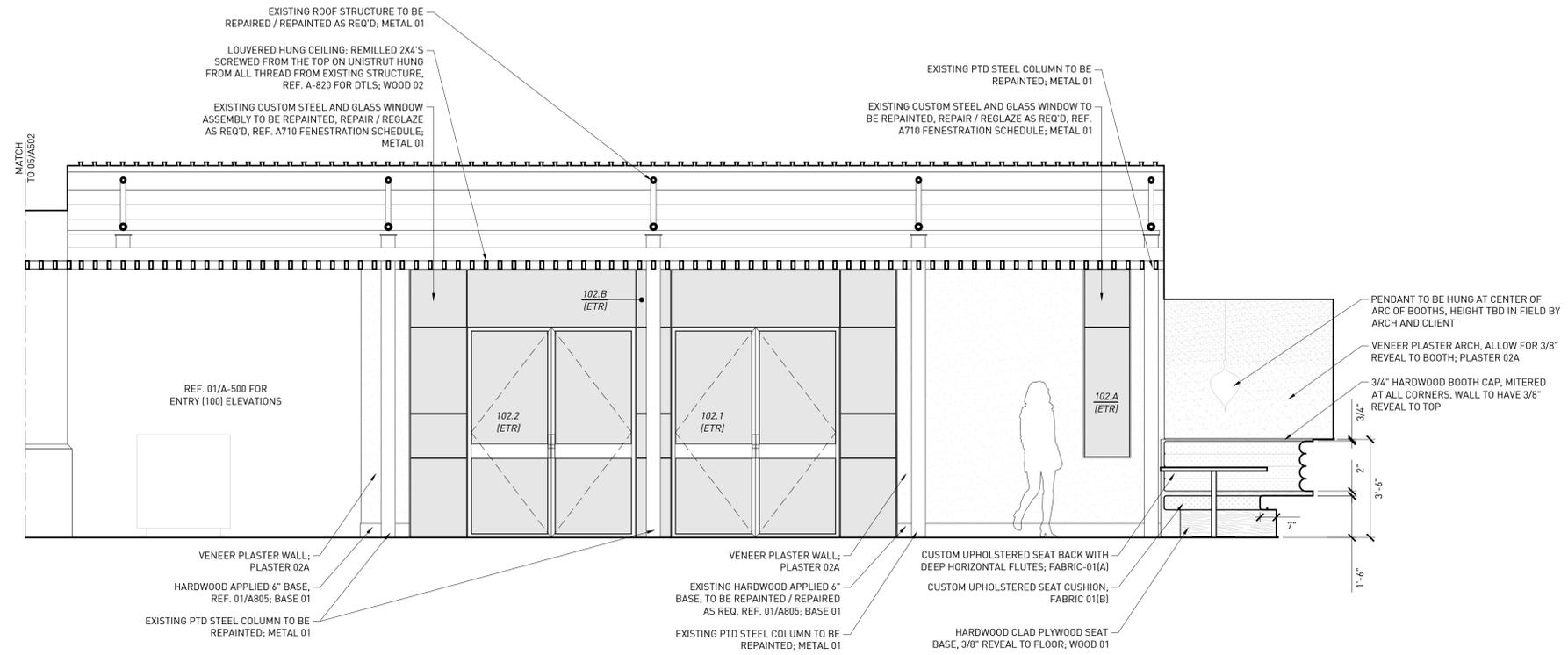


04 | TYP. BRICK WALL INFILL
SCALE: 3/4" = 1'-0"

notes:

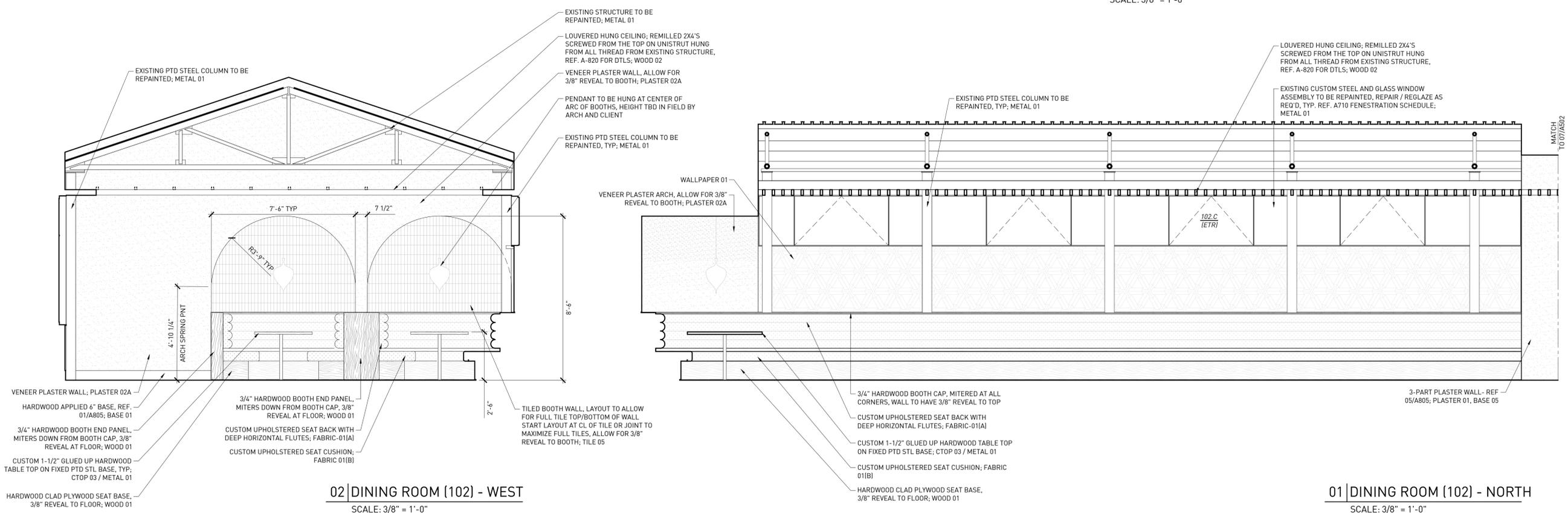
revision:

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03 | DINING ROOM (102) - SOUTH

SCALE: 3/8" = 1'-0"



02 | DINING ROOM (102) - WEST

SCALE: 3/8" = 1'-0"

01 | DINING ROOM (102) - NORTH

SCALE: 3/8" = 1'-0"

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

INTERIOR ELEVATIONS

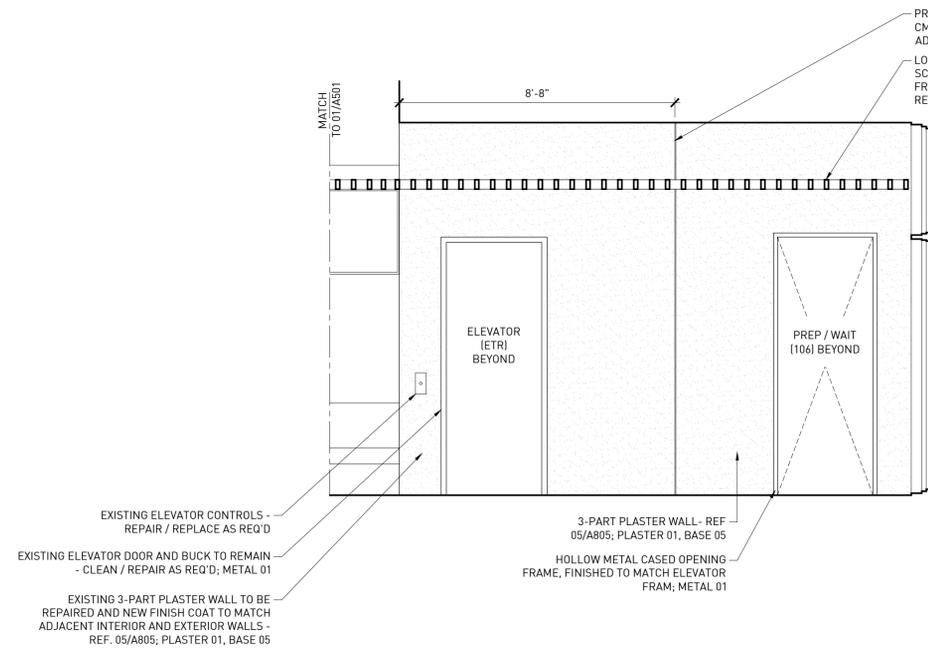
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A-501

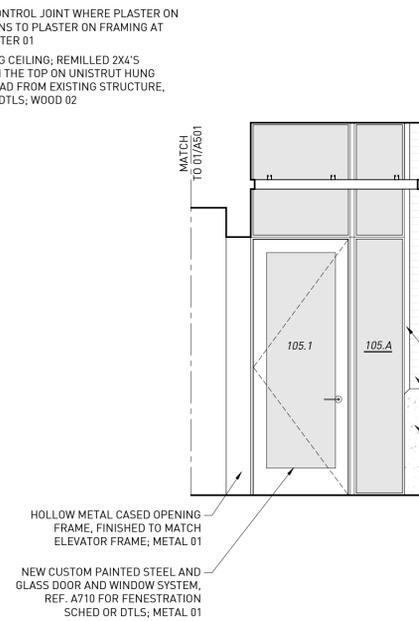
notes:

revision:

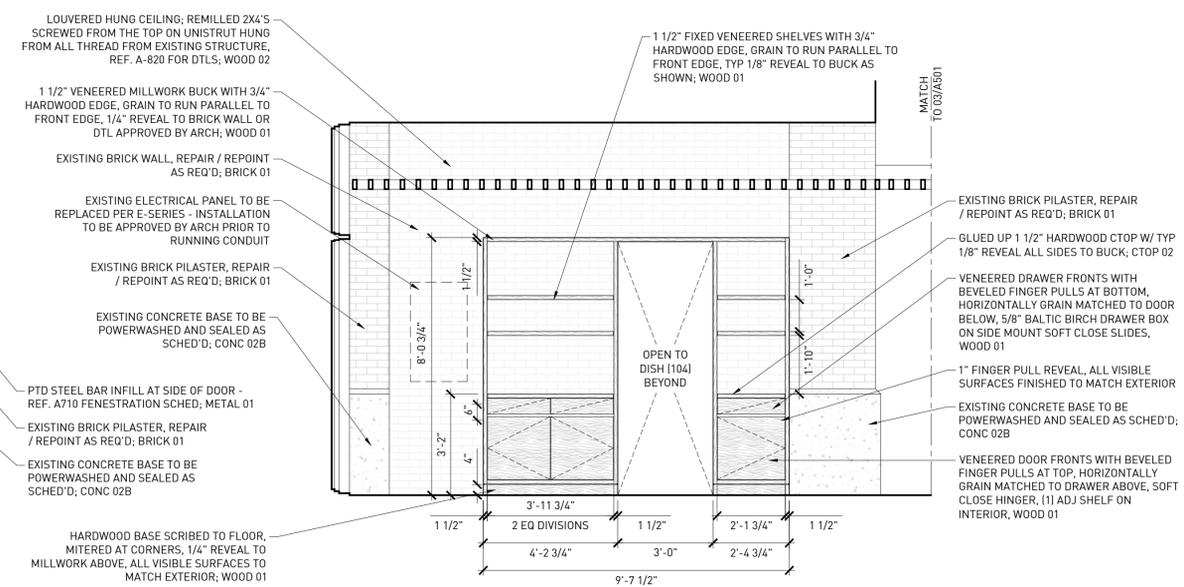
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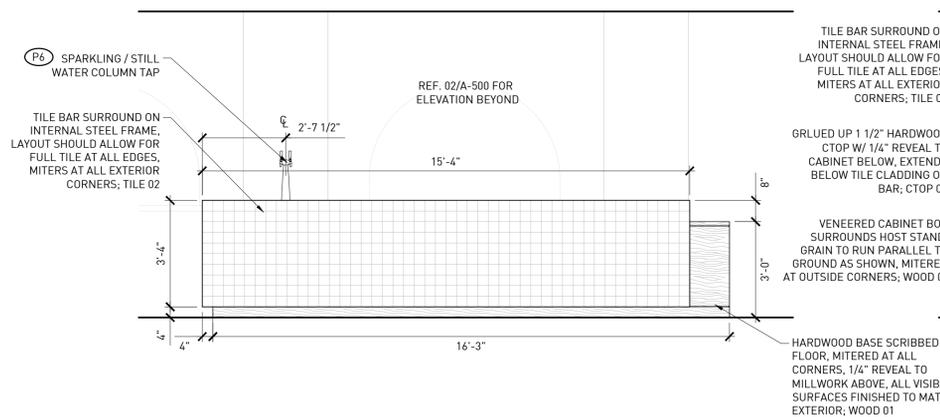
07 | HALL / POLISH (105) - NORTH
SCALE: 3/8" = 1'-0"



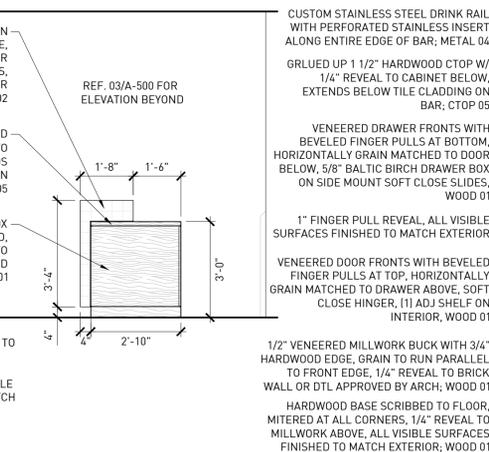
06 | HALL / POLISH (105) - EAST
SCALE: 3/8" = 1'-0"



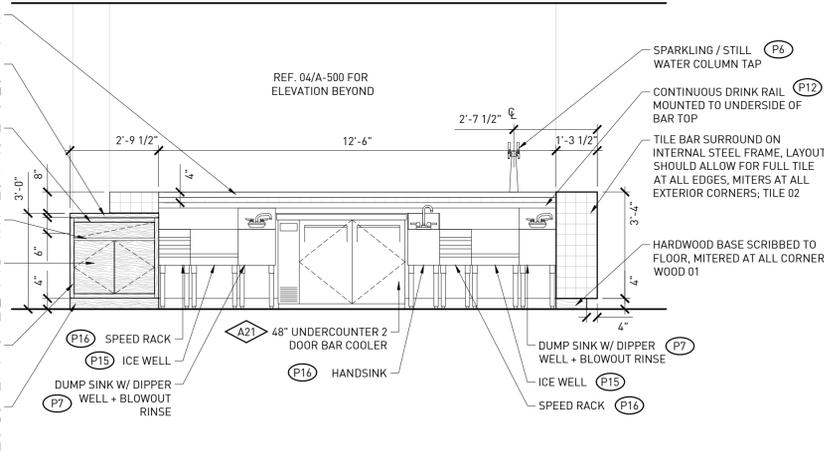
05 | HALL / POLISH (105) - SOUTH
SCALE: 3/8" = 1'-0"



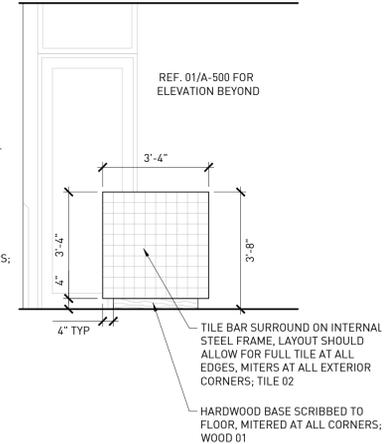
02 | SERVICE BAR FACE (101) - WEST
SCALE: 3/8" = 1'-0"



01 | SERVICE BAR FACE (101) - SOUTH
SCALE: 3/8" = 1'-0"



04 | SERVICE BAR FACE (101) - EAST
SCALE: 3/8" = 1'-0"



02 | SERVICE BAR FACE (101) - NORTH
SCALE: 3/8" = 1'-0"

LADINO
200 E GRAYSON ROAD SUITE 100
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04/26/2021

INTERIOR ELEVATIONS

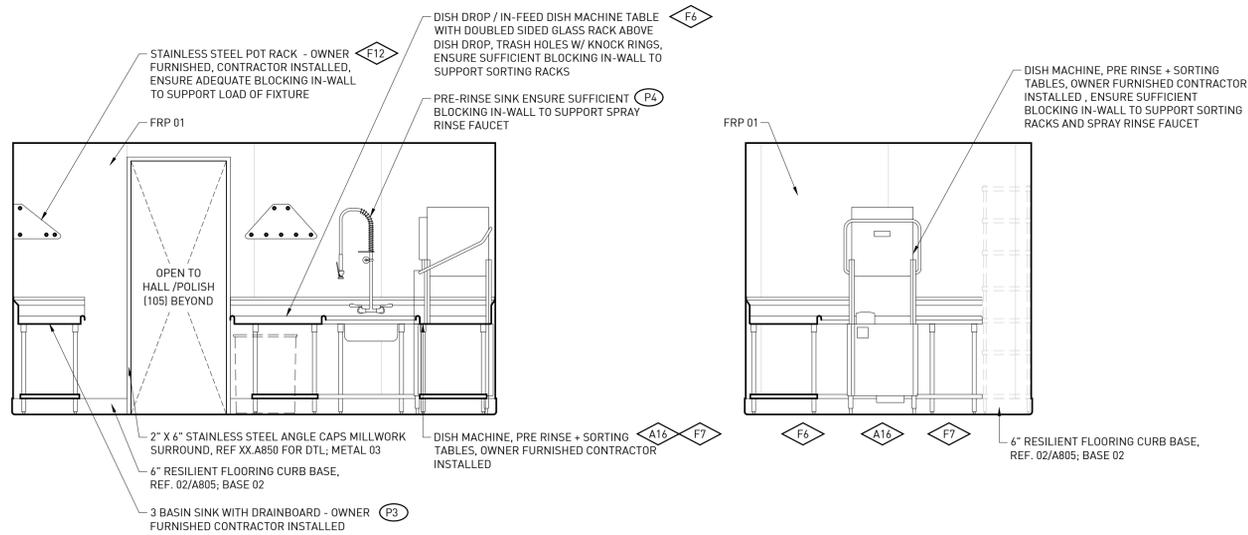
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A-502

notes:

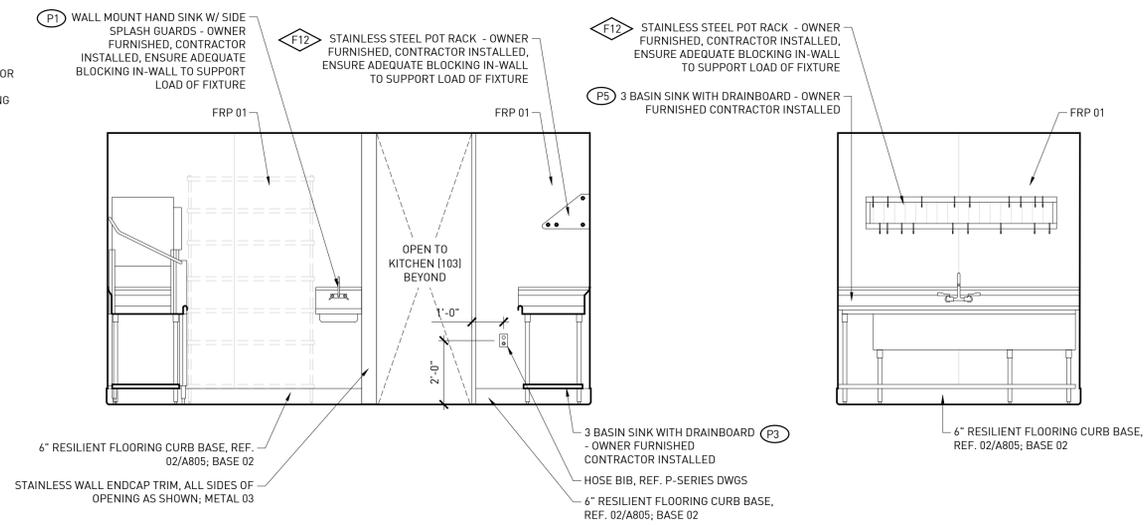
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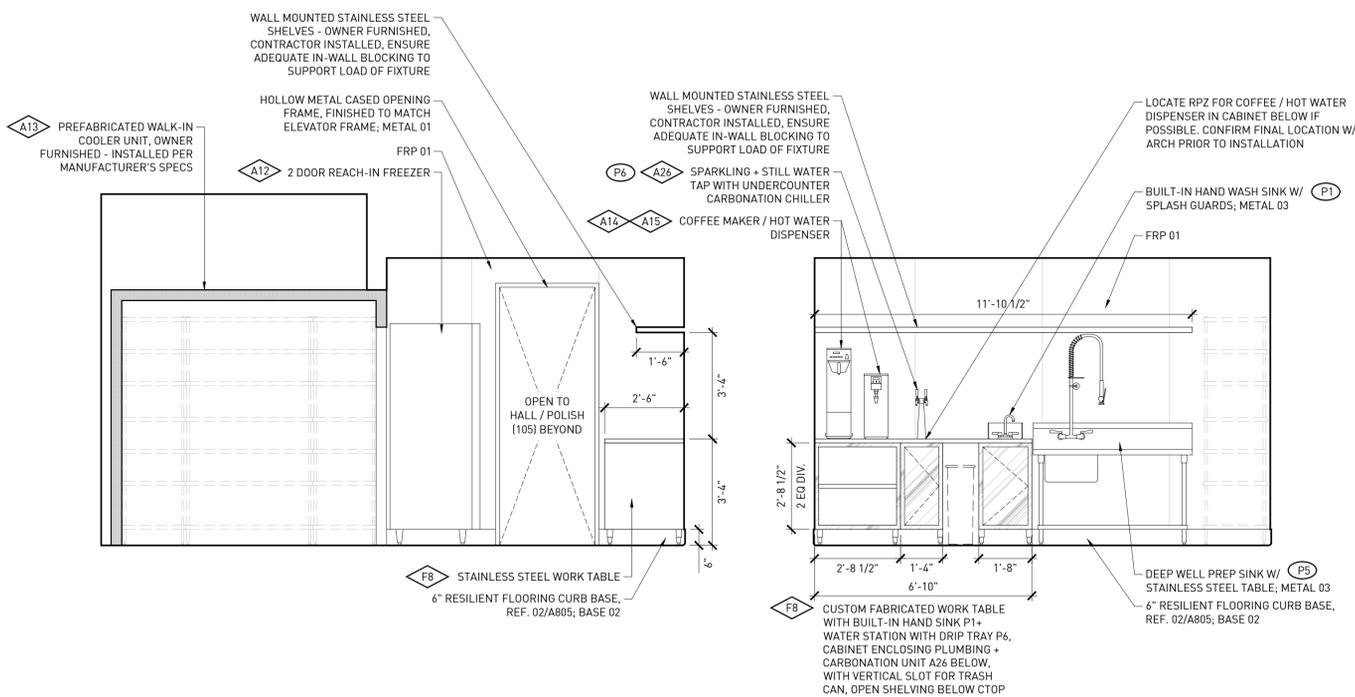
08 | DISH (104) - NORTH
SCALE: 3/8" = 1'-0"

07 | DISH (104) - EAST
SCALE: 3/8" = 1'-0"



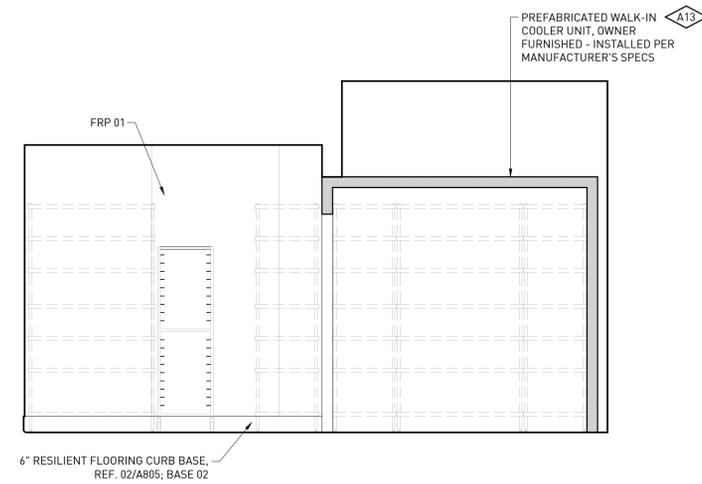
06 | DISH (104) - SOUTH
SCALE: 3/8" = 1'-0"

05 | DISH (104) - WEST
SCALE: 3/8" = 1'-0"

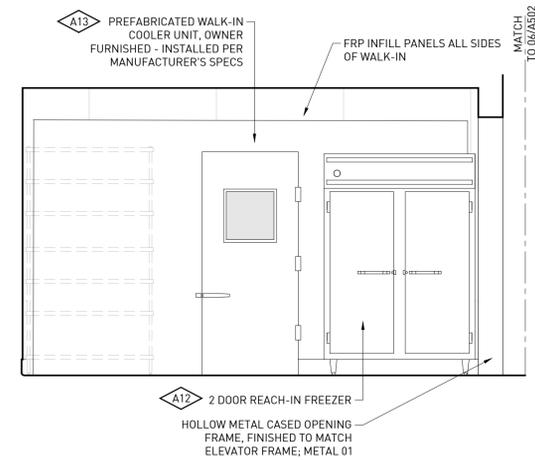


04 | PREP / WAIT (106) - SOUTH
SCALE: 3/8" = 1'-0"

03 | PREP / WAIT (106) - WEST
SCALE: 3/8" = 1'-0"



02 | PREP / WAIT (106) - NORTH
SCALE: 3/8" = 1'-0"



01 | PREP / WAIT (106) - EAST
SCALE: 3/8" = 1'-0"

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

INTERIOR ELEVATIONS

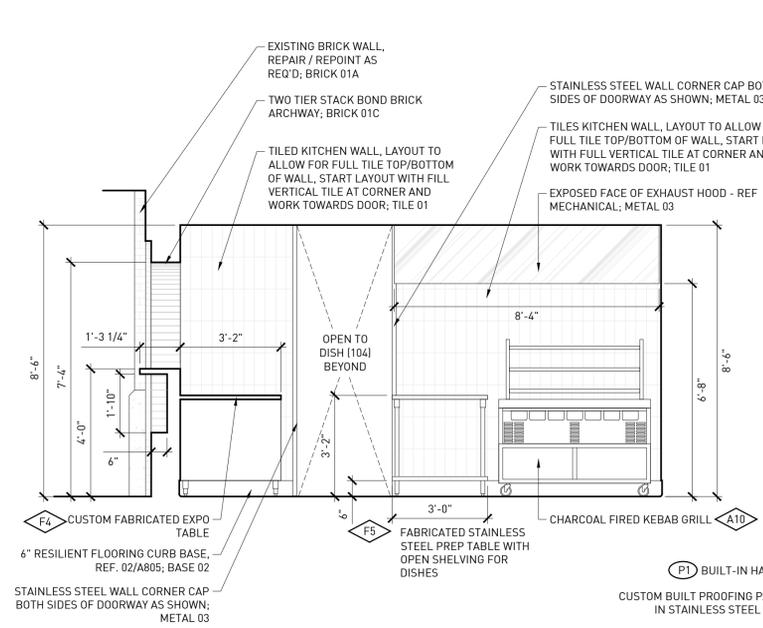
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A-503

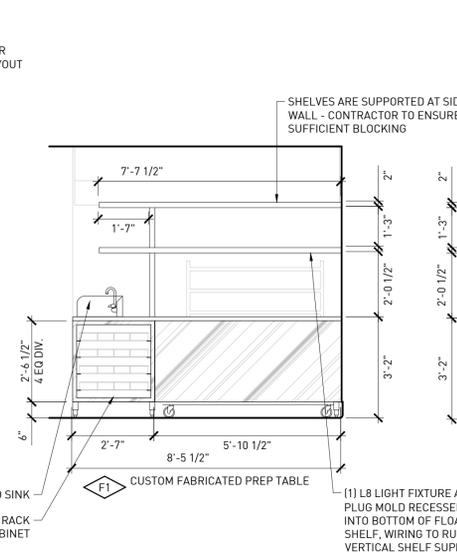
notes:

revision:

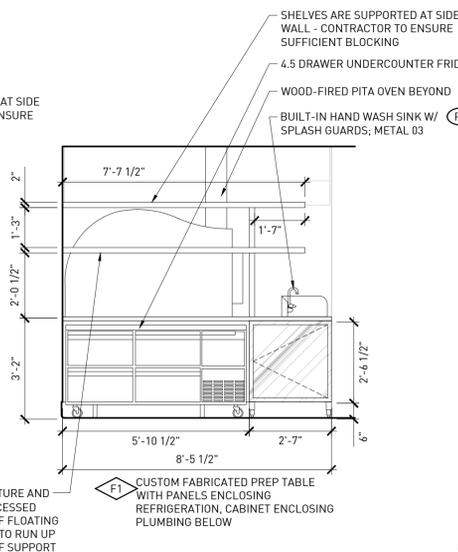
210426 ISSUE FOR PERMIT



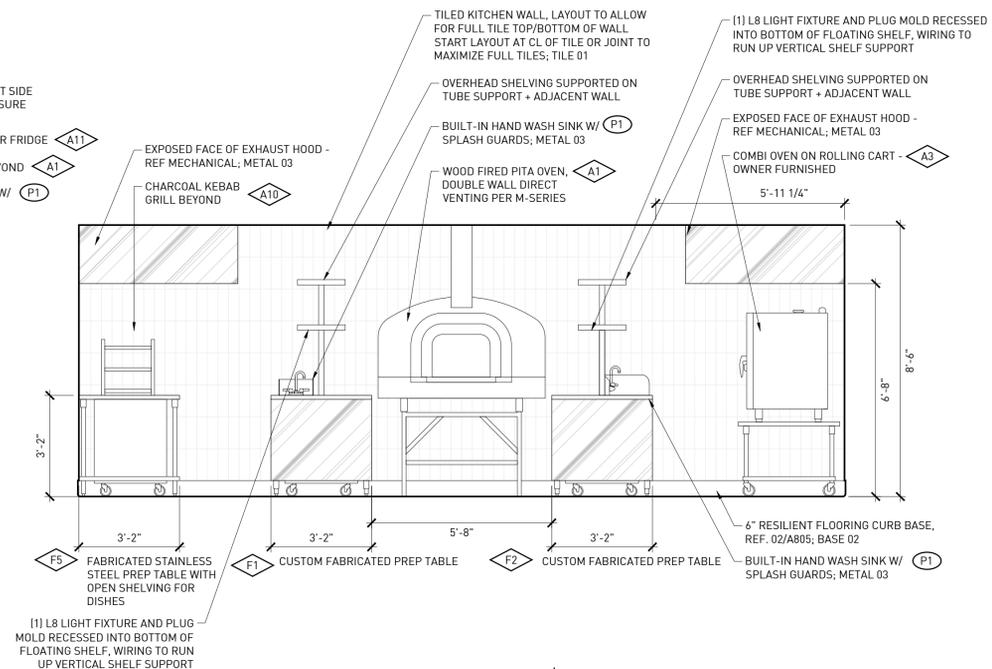
08 | KITCHEN (103) - NORTH
SCALE: 3/8" = 1'-0"



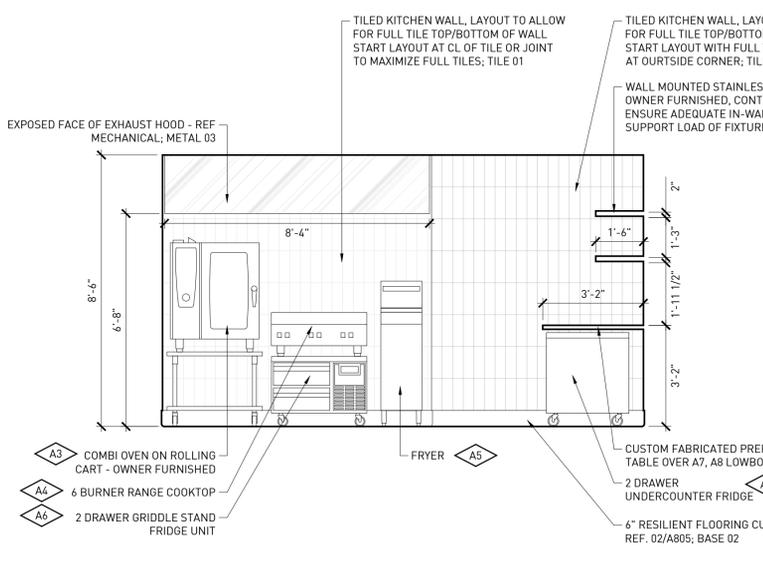
07 | F1 PREP TABLE - SOUTH FACE
SCALE: 3/8" = 1'-0"



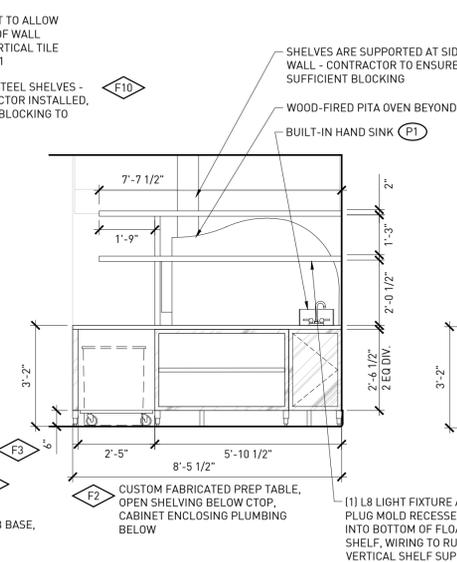
06 | F1 PREP TABLE - NORTH FACE
SCALE: 3/8" = 1'-0"



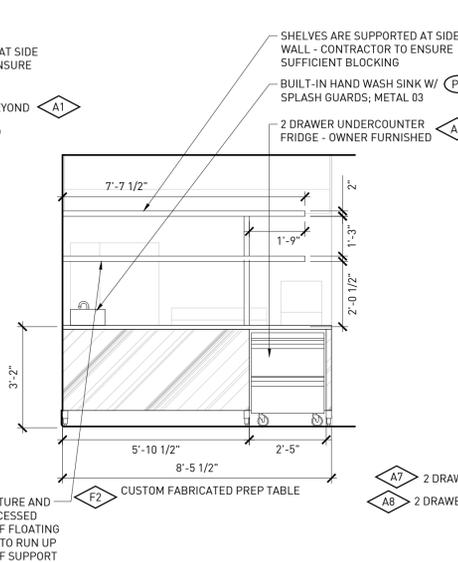
05 | KITCHEN (103) - EAST
SCALE: 3/8" = 1'-0"



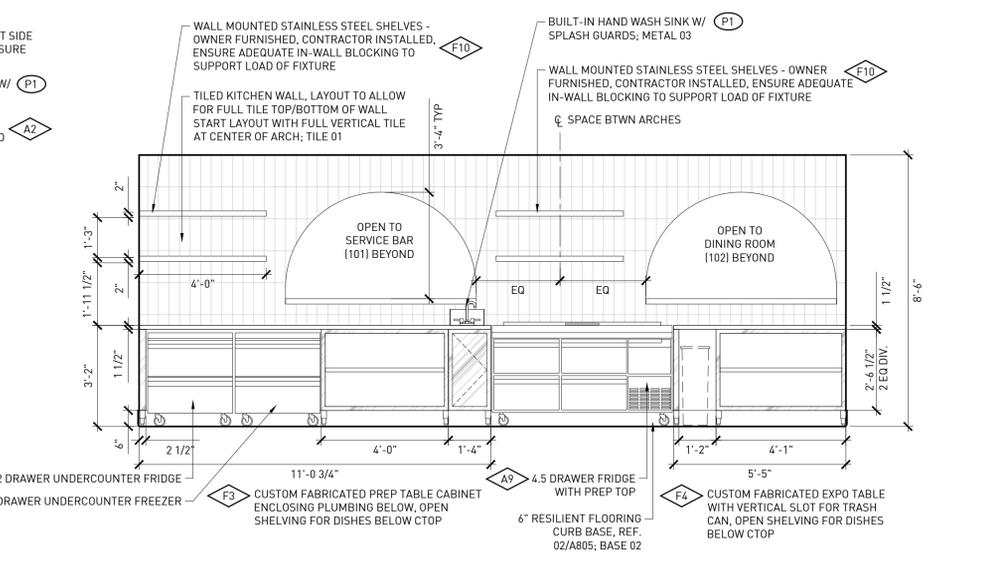
04 | KITCHEN (103) - SOUTH
SCALE: 3/8" = 1'-0"



03 | F2 PREP TABLE - SOUTH FACE
SCALE: 3/8" = 1'-0"



02 | F2 PREP TABLE - NORTH FACE
SCALE: 3/8" = 1'-0"



01 | KITCHEN (103) - WEST
SCALE: 3/8" = 1'-0"

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

INTERIOR ELEVATIONS

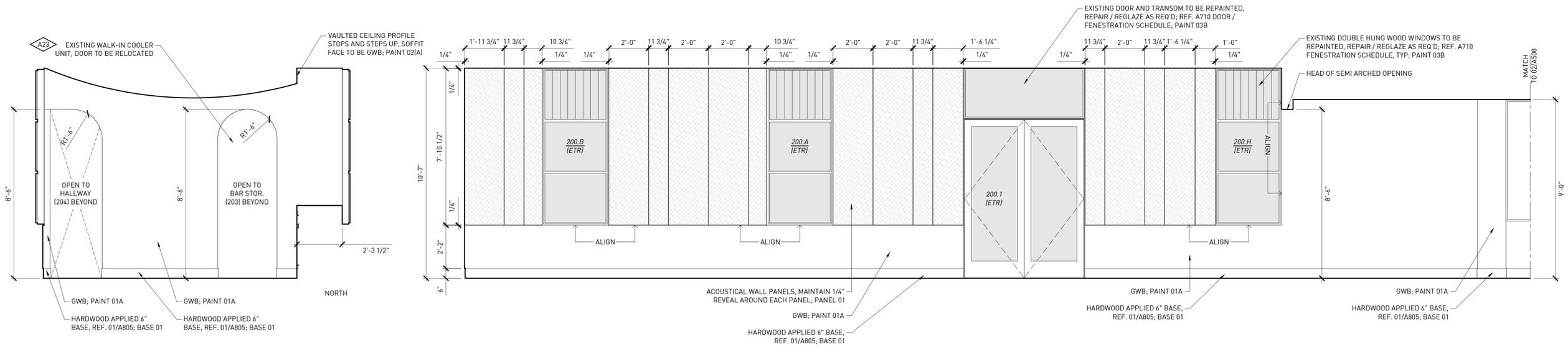
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scale: 3/8"=1'-0"

A-504

notes:

revision:

210426 ISSUE FOR PERMIT



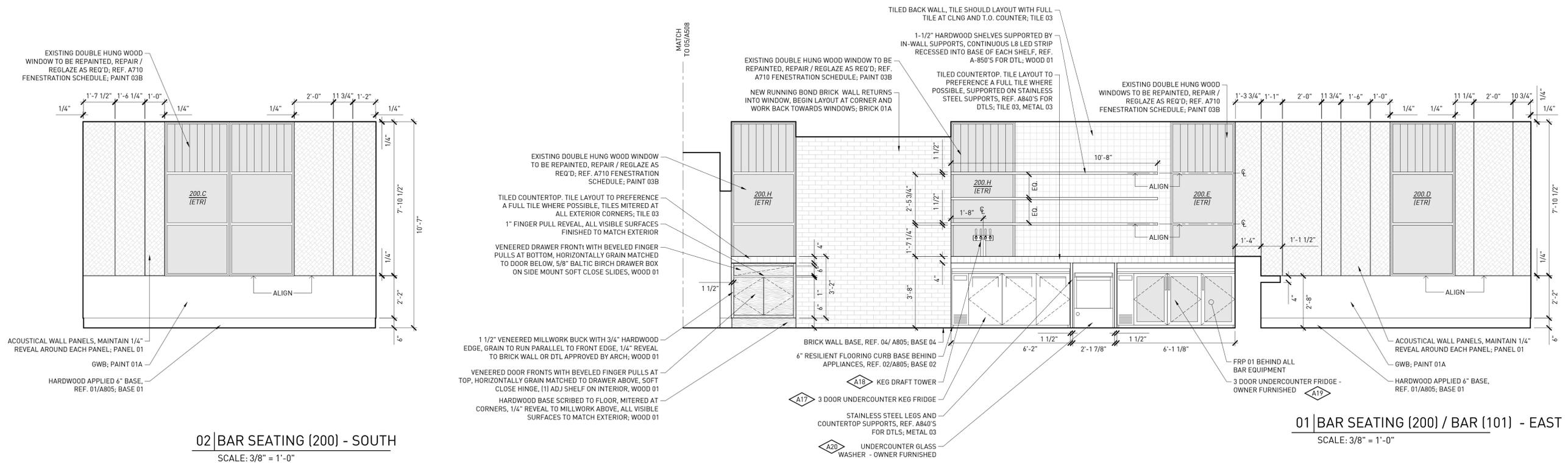
04 | BAR SEATING (200) - NORTH

SCALE: 3/8" = 1'-0"

NOTE: CLIENTS HAVE NOT YET SETTLED ON ACOUSTIC PANEL TREATMENT - PROVIDE OPTION PRICING FOR PANEL 01 ALTERNATES PER FINISH SCHEDULE A700

03 | BAR SEATING (200) - WEST

SCALE: 3/8" = 1'-0"



02 | BAR SEATING (200) - SOUTH

SCALE: 3/8" = 1'-0"

01 | BAR SEATING (200) / BAR (101) - EAST

SCALE: 3/8" = 1'-0"

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

INTERIOR ELEVATIONS

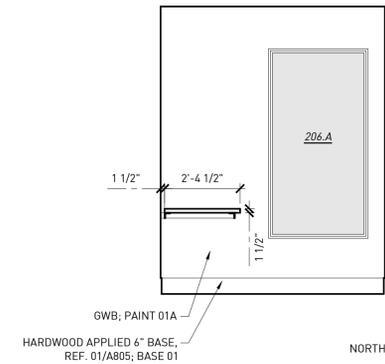
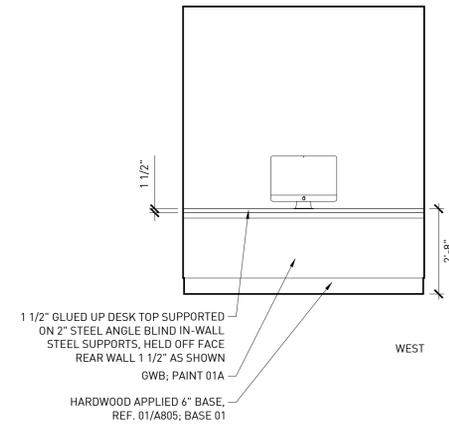
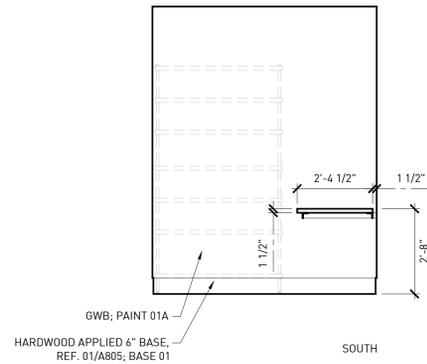
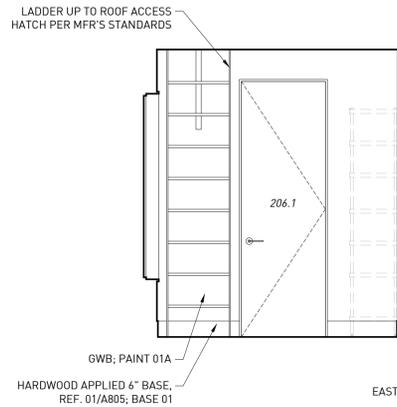
date plotted: 26 APRIL 2021
scale: 3/8" = 1'-0"

A-506

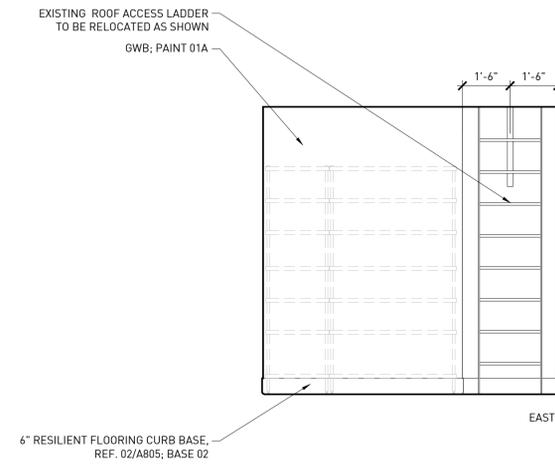
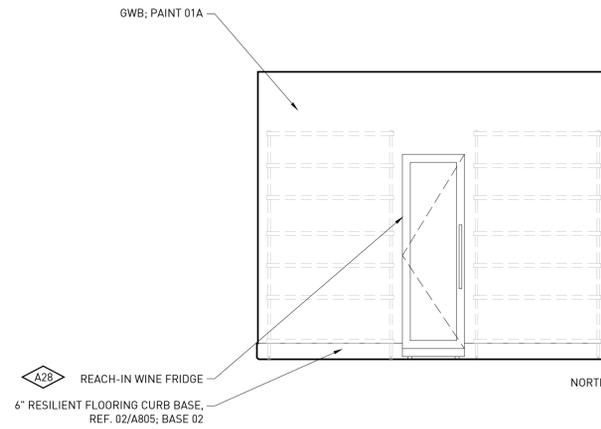
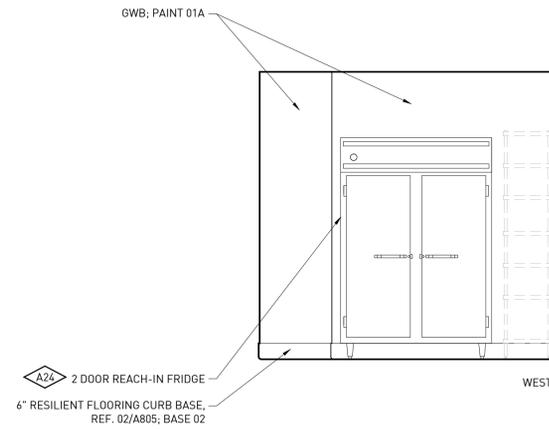
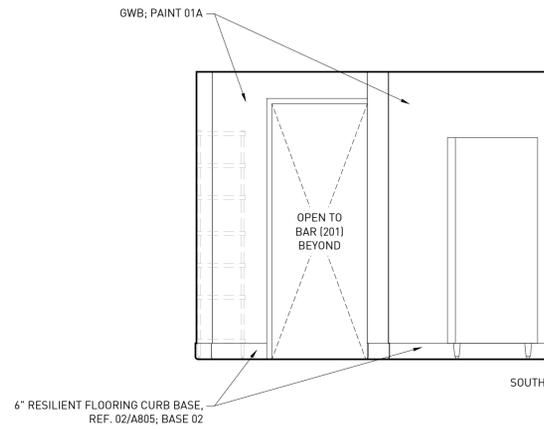
notes:

revision:

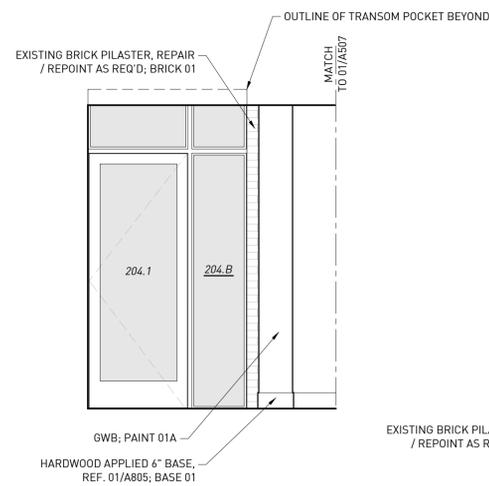
210426 ISSUE FOR PERMIT



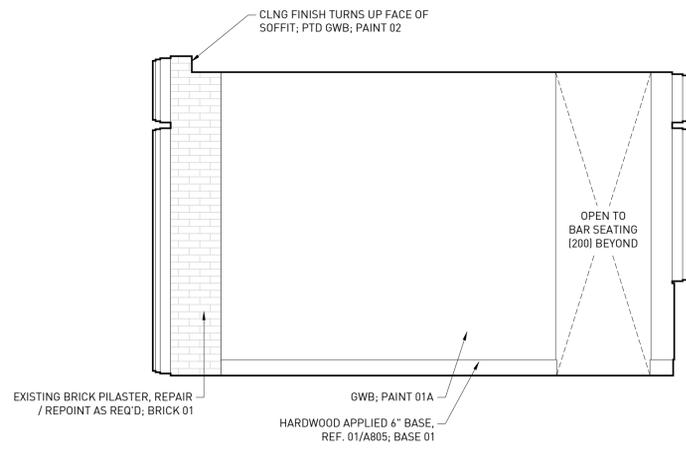
06 OFFICE (206)
SCALE: 3/8" = 1'-0"



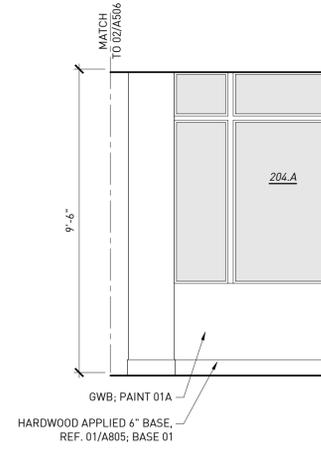
05 BAR STORAGE (203)
SCALE: 3/8" = 1'-0"



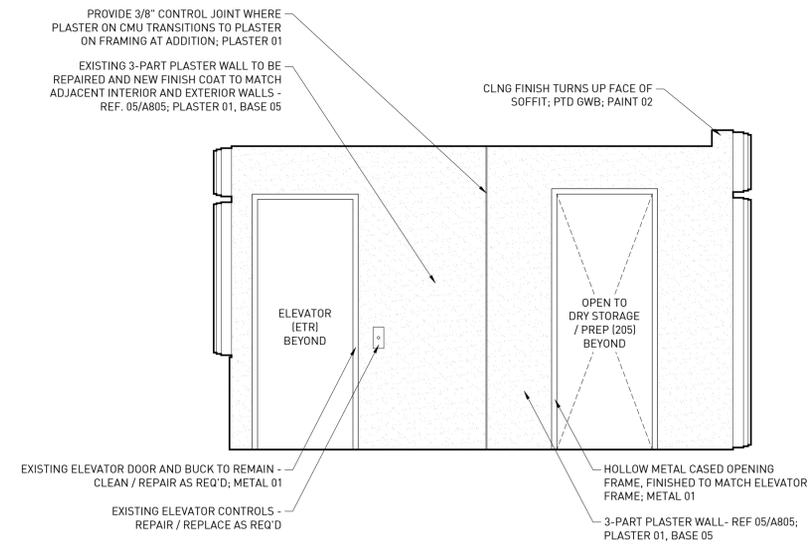
04 HALLWAY (204) - EAST
SCALE: 3/8" = 1'-0"



03 HALLWAY (204) - SOUTH
SCALE: 3/8" = 1'-0"



02 HALLWAY (204) - WEST
SCALE: 3/8" = 1'-0"



01 HALLWAY (204) - NORTH
SCALE: 3/8" = 1'-0"

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

INTERIOR ELEVATIONS

date plotted: 26 APRIL 2021
scale: 3/8"=1'-0"

A-508

SUPPLIERS / REPS

NEWBOLD STONE
John Newbold
newboldstone.com
(512) 646-7405

NOTES:

FABRIC		
MATERIAL	SPECIFICATION	LOCATION
FABRIC 01A - FAB01A	MANUFACTURER: MOBERN	BOOTH UPHOLSTERY (BACKS)
	MATERIAL: LEATHER LOOK VINYL UPHOLSTERY (we assume \$29/yd for material)	
	COLOR: TBD	
	ASSEMBLY: HORIZONTAL CHANNEL TUFTED, REF. A-850'S FOR DTLS	
FABRIC 01B - FAB01B	MANUFACTURER: MOBERN	BOOTH UPHOLSTERY (SEATS)
	MATERIAL: LEATHER LOOK VINYL UPHOLSTERY (we assume \$29/yd for material)	
	COLOR: TBD	
	ASSEMBLY: PLAIN SEAMS, REF. A-850'S FOR DTLS	
FABRIC 02 - FAB02	MANUFACTURER: TBD	BOOTH UPHOLSTERY (SEATS)
	MATERIAL: FABRIC FOR WALL PANELS - PANEL 01 (ALLOWANCE: \$25/YARD)	
	COLOR: TBD	
	ASSEMBLY: REF. A-820'S FOR DTLS	
NOTES: CONTRACTOR TO PROVIDE BACKING PANELS. SEAT PAD TO ALIGN WITH BACK AND APPEAR TO EXTEND FULL DEPTH. DUAL DENSITY FOAM, TYP.		

HARDWARE		
MATERIAL	SPECIFICATION	LOCATION
WATER CLOSET 01-WC01	MANUFACTURER: SCHOOLHOUSE ELECTRIC	ALL WC'S
	MODEL: NICOLAI TISSUE HOLDER	
	SPEC / INSTALLATION: TOILET PAPER HOLDER - REF. A500 INT. ELEV5 FOR INSTALL HEIGHT + LOC.	
	COLOR: TRUE BLACK	
NOTES: ENSURE IN-WALL BLOCKING - 2X WOOD OR SIM - SUFFICIENT TO SUPPORT FIXTURE W/O USE OF ANCHORS		

BASE		
MATERIAL	SPECIFICATION	LOCATION
BASE 01	MATERIAL: 1X APPLIED SQUARE EDGED BASE (SIZE PER DTLS/INTERIOR ELEVATIONS) - WOOD 04	THROUGHOUT
	FINISH: PAINT 03 (COLOR TO MATCH WALL)	
	DETAIL: REF. 01/A820	
	NOTES: SCRIBE BASE TO FLOOR - TRIM CAULK ANY GAPS FLUSH TO FACE OF BASE PRIOR TO PAINT AT FLOOR AND WALL.	
BASE 02	MATERIAL: 6" RESILIENT FLOORING CURB BASE	KITCHEN, PREP, DISH
	FINISH: FLOORING 01	
	DETAIL: REF. 02/A820	
	NOTES:	
BASE 03	MATERIAL: TILED WALL BASE - AS SCHED'D	WC COMPARTMENTS, BAR
	FINISH: JOINT TO BE TRIMMED WITH GROUT MATCHED CAULK - TYP. GROUT JOINT	
	DETAIL: REF. 03/A820	
	NOTES: ARCH TO PROVIDE SK WITH TILE LAYOUT - TILE LAYOUT TO PREFERENCE A FULL TILE AT BOTTOM OF WALL WITH TYP GROUT JOINT TO FLOORING	
BASE 04	MATERIAL: BRICK WALL BASE	THROUGHOUT
	FINISH: FULL TYPICAL MORTAR JOINT AT FLOOR	
	DETAIL: REF. 04/A820	
	NOTES:	
BASE 05	MATERIAL: 3 PART PLASTER TO CONCRETE FLOOR	THROUGHOUT
	FINISH: FRY REGLET T MOLD WITH TYP REVEAL TO FLOOR (SEE EXISTING CONDITION @ ELEVATOR	
	DETAIL: REF. 05/A820	
	NOTES: THIS DETAIL IS INTENDED TO MATCH THE EXITING CONDITION AT THE ELEVATOR	

COUNTERTOPS		
MATERIAL	SPECIFICATION	LOCATION
COUNTERTOP 01 - CTOP 01	FABRICATOR: NEWBOLD STONE	COMMUNITY LAVATORY
	MATERIAL: PRE-CAST CONCRETE + INTEGRAL SINKS AND DRAIN	
	SIZE: THICKNESS AND DIMENSIONS PER DRAWINGS	
	SURFACE FINISH: DRY LOCK POLYURETHANE PER MFR - EASED EDGES, MAX 1/8" ROUND	
COUNTERTOP 02 - CTOP 02	FABRICATOR: TBD	POLISH STATION
	MATERIAL: GLUED UP SOLID PLAIN SAWN WHITE OAK	
	SIZE: 1 1/2" FINISHED THICKNESS, 3-5" BOARD WIDTHS OR AS APPROVED BY ARCH	
	COLOR / FINISH: MATCH TO WOOD 01	
COUNTERTOP 03 - CTOP 03	FABRICATOR: TBD	DINING ROOM AND BAR TABLES
	MATERIAL: GLUED UP SOLID PLAIN SAWN WHITE OAK	
	SIZE: 1 1/2" FINISHED THICKNESS, 3-5" BOARD WIDTHS OR AS APPROVED BY ARCH	
	COLOR / FINISH: TBD	
COUNTERTOP 04 - CTOP 04	FABRICATOR: TBD	UPSTAIRS BAR TOP
	MATERIAL: SOLID SLAB OF LOCALLY SOURCED POST, LIVE OR OTHER SIMILAR WHITE OAK	
	SIZE: 4" FINISHED THICKNESS	
	COLOR / FINISH: TBD	
COUNTERTOP 05 - CTOP 05	FABRICATOR: TBD	HOST STAND
	MATERIAL: GLUED UP SOLID PLAIN SAWN WHITE OAK	
	SIZE: 1 1/2" FINISHED THICKNESS, 3-5" BOARD WIDTHS OR AS APPROVED BY ARCH	
	COLOR / FINISH: WOOD 01	
NOTES: APPROVAL OF THIS TOP WILL FOLLOW APPROVAL OF WOOD 01 SAMPLE APPROVAL. TOP TO HAVE MINIMAL EASED EDGES (PENCIL ROUND MAX). THIS SURFACE IS INTENDED TO MATCH THE GREATER MILLWORK ASSEMBLY BUT PROVIDE A DURABLE WORK SURFACE FOR SERVICE STAFF.		

FLOORING		
MATERIAL	SPECIFICATION	LOCATION
FLOORING 01 - FL01	MANUFACTURER: FORBO	KITCHEN, PREP, BAR
	MATERIAL: ETERNAL STEP	
	COLOR: SMOKE	
	NOTES: CONTRACTOR TO PROVIDE (3) SAMPLES PRIOR TO INSTALLATION	

GLASS		
MATERIAL	SPECIFICATION	LOCATION
GLASS 01	MATERIAL: 1/4" GLASS MIRROR	MIRRORS THROUGHOUT
	FABRICATION: POLISHED SQUARE EDGES	
	INSTALLATION: APPROVED MASTIC - NO VISIBLE CLIPS OR FASTENERS	
	NOTES:	

ROOFING MATERIALS		
MATERIAL	SPECIFICATION	LOCATION
ROOFING 01 - RF01	MANUFACTURER: GAF (EVERGUARD EXTREME), OR SIM.	NEW ROOFING
	MATERIAL: HIGH PERFORMANCE TPO MEMBRANE ROOF	
	SIZE / COLOR: 60 MIL, WHITE	
	NOTES: WHERE EXISTING ROOFING IS TO REMAIN, REPAIR WITH COMPATIBLE MEMBRANE TYPE. IF ENTIRE ROOF IS TO BE REPLACED, UTILIZE COMMON SPEC THROUGHOUT	

WOOD		
MATERIAL	SPECIFICATION	LOCATION
WOOD 01 - WD01	MATERIAL: WHITE OAK - SOLID WOOD/VENEER COMPONENTS	MILLWORK THROUGHOUT
	GRAIN / GRADE: PLAIN SAWN CHARACTER GRADE WHITE OAK - INTACT KNOTS OKAY	
	FINISH: RUBIO MONOCOAT	
	COLOR: TBD (ASSUME PRE-COLOR + TOPCOAT)	
WOOD 02 - WD02	MATERIAL: TIMBERSTRAND LSL STUDS	DINING ROOM CEILING
	SIZE: 2X4 LAMINATED STUDS	
	FINISH: WATERBORNE POLYURETHANE	
	COLOR: NATURAL / SATIN-MATTE	
WOOD 02 - WD02 ADD ALT #1	MATERIAL: TIMBERSTRAND LSL STUDS	DINING ROOM CEILING
	SIZE: 2X6 LAMINATED STUDS	
	FINISH: WATERBORNE POLYURETHANE	
	COLOR: NATURAL / SATIN-MATTE	
WOOD 03 - WD03	MATERIAL: BOOS BLOCK - MONOLITHIC FABRICATED BUTCHER BLOCK	KITCHEN WORK TABLES
	GRAIN / GRADE: HARD ROCK MAPLE	
	FINISH: NATURAL LEMON BLOCK OIL OR SIM - TO BE SPECIFIED BY OWNER	
	SIZE: 2" FOR ALL KITCHEN WORK AND PREP TABLES	
WOOD 04 - WD04	MATERIAL: KEBONY	EXTERIOR BANQUETTES
	GRAIN / GRADE: 1X6 CLEAR CHEMICALLY MODIFIED WOOD	
	FINISH: NO FINISH REQ'D	
	COLOR: DARK BROWN - ALLOWED TO AGE AND SILVER	
NOTES: COORDINATED, ALIGNED FLUSH COUNTERS/UNK TRIM HEAD STAINLESS STEEL FASTENERS, WOOD REQUIRES PRE-DRILLING FOR ALL FASTENERS, CONTRACTOR TO PROVIDE A LINEAR 2" FULLY ASSEMBLED AND FINISHED SAMPLE OF BANQUETTE FOR APPROVAL.		

PLASTER + PANELING		
MATERIAL	SPECIFICATION	LOCATION
PLASTER 01 - PL01	MANUFACTURER: VARIANCE	GLOBAL EXTERIOR
	MATERIAL: 3 PART ACRYLIC POLYMER BASED SANDED HAND TROWELED PLASTER	
	FINISH: SMOOTH, LOW SHEEN, MEDIUM MOVEMENT	
	COLOR: (B) BENJAMIN MOORE 2121-20 STEEL WOOL COLOR MATCH	
PLASTER 02 - PL02 (COLOR)	MATERIAL: GYPSUM DIAMOND VENEER PLASTER	GLOBAL INTERIOR
	FINISH: SMOOTH, LOW SHEEN, MEDIUM MOVEMENT	
	COLOR: (A) BENJAMIN MOORE 2121-40 SILVER HALF DOLLAR	
	NOTES: CONTRACTOR TO PROVIDE (3) 24" X 24" SAMPLES	
FRP 01	MANUFACTURER: FRP PANELS	PREP / DISH
	FINISH: SMOOTH	
	COLOR: WHITE	
	NOTES: CONTRACTOR TO PROVIDE PANEL AND TRIM SAMPLE	
PANEL 01 - PNL01	MATERIAL: FABRIC PANELS STRETCHED OVER HARDWOOD FRAMES (LIKE A STRETCHED FINE ART CANVAS)	BAR WALLS
	SIZE / INSTALLATION: VARIES, REF. INTERIOR ELEVATIONS	
	COLOR/SPEC: FABRIC 02	
	NOTES: PANEL HUNG ON WALL WITH FRENCH OR Z CLIPS, CONTRACTOR SHALL PROVIDE INSTALLATION MOCK UP (MINIMUM TWO PANELS) TO BE APPROVED PRIOR TO RUNNING ENTIRE ROOM	
PANEL 01 - PNL01 ADD ALT #1	MANUFACTURER: ARMSTRONG CEILING & WALL	BAR WALLS
	MATERIAL: TECTUM DIRECT ATTACH PANEL	
	SIZE / INSTALLATION: VARIES, REF. INTERIOR ELEVATIONS	
	COLOR: NATURAL (SHERWIN WILLIAMS SW7005 PURE WHITE)	
ACT 01	MANUFACTURER: ARMSTRONG CEILING AND WALL SOLUTIONS	PREP / DISH
	MATERIAL: ARMSTRONG KITCHEN ZONE 672-WH, 24" X 24" X 5/8" W/ PRELUDE XL 5/16" GRID	
	COLOR: WHITE - SMOOTH TEXTURE	
	NOTES: CONTRACTOR TO PROVIDE PANEL AND GRID SAMPLE	

TILE		
MATERIAL	SPECIFICATION	LOCATION
TILE 01 - TL01	MANUFACTURER: DALTILE	KITCHEN / B.O.H.
	MATERIAL: LARGO GLAZED CERAMIC TILE	
	COLOR/SIZE: WHITE DT LR-94 4x12 FIELD TILE + LONG EDGE BULLNOSE FOR EXTERIOR CORNERS	
	PATTERN/LAYOUT: VERTICAL STACKED BOND	
TILE 02 - TL02	MANUFACTURER: CLE TILE	SERVICE BAR FRONT + TOP
	MATERIAL: GLAZED ZELLIGE	
	COLOR/SIZE: TEA CEREMONY 4" X 4" X 3/8"	
	PATTERN/LAYOUT: STACKED BOND	
TILE 03 - TL03	MANUFACTURER: CLE TILE	UPPER BAR FRONT + TOP
	MATERIAL: GLAZED ZELLIGE	
	COLOR/SIZE: FIRED OPAL 4" X 4" X 3/8"	
	PATTERN/LAYOUT: STACKED BOND	
TILE 04 - TL04	MANUFACTURER: CLE TILE	WC COMPARTMENT WALLS
	MATERIAL: ENCAUSTIC CONCRETE TILES	
	COLOR/SIZE: CEMENT RADAR FEDERAL BLUE HEX 8" X 9" X 5/8"	
	PATTERN/LAYOUT: TBD	
TILE 05 - TL05	MANUFACTURER: CLE TILE	BOOTH REAR WALL
	MATERIAL: ZELLIGE GLAZED CERAMIC HANDMADE TILE	
	COLOR/SIZE: SHATTERED PEARL 2" X 6" X 3/4" SUBWAY TILE	
	PATTERN/LAYOUT: VERTICAL STACKED BOND	
NOTES: CONTRACTOR TO PROVIDE (3) SAMPLE TILES + MIN 16" X 16" GROUTED SAMPLE PANEL		

PAINTS AND FINISHES		
MATERIAL	SPECIFICATION	LOCATION
PAINT 01 - PT01(COLOR)	MANUFACTURER: BENJAMIN MOORE	WALLS THROUGHOUT
	MATERIAL: ULTRA SPEC SCUFF-X INTERIOR LATEX PAINT	
	FINISH: EGGSHELL (485)	
	APPLICATION: ROLLED - SMOOTH 1/4" NAP MAX.	
PAINT 02 - PT02(COLOR)	MANUFACTURER: BENJAMIN MOORE	CEILING THROUGHOUT
	MATERIAL: REGAL SELECT (SMOOTH)	
	APPLICATION: ROLLED - SMOOTH 1/4" NAP MAX.	
	FINISH: FLAT (547)	
PAINT 03 (SHOP FINISHED)	MANUFACTURER: SHERWIN WILLIAMS	DOORS, TRIM, AND MILLWORK THROUGHOUT - SHOP FINISHED
	MATERIAL: SHER-WOOD KEM AQUA PLUS WHITE	
	APPLICATION: SPRAYED	
	FINISH: MEDIUM DULL RUBBED	
PAINT 03 (SITE FINISHED)	MANUFACTURER: BENJAMIN MOORE	DOORS, TRIM, AND MILLWORK THROUGHOUT - SITE FINISHED
	MATERIAL: ADVANCE HYBRID OR CABINET COAT 100% ACRYLIC	
	APPLICATION: SPRAYED	
	FINISH: SEMI-GLOSS	
PAINT 04 - PT04(COLOR)	MANUFACTURER: BENJAMIN MOORE	STEEL WORK
	MATERIAL: SUPER SPEC ALKYD DTM	
	APPLICATION: SPRAYED	
	FINISH: SEMI-GLOSS (P24)	
PAINT 05 - PT05(COLOR)	MANUFACTURER: BENJAMIN MOORE	EXTERIOR PAINTED WOOD SURFACES
	MATERIAL: REGAL SELECT EXTERIOR HIGH BUILD PAINT	
	APPLICATION: SPRAYED	
	FINISH: FLAT N400	
WALLPAPER 02	MANUFACTURER: TBD	BOOTH BACK WALLS
	COLOR / PATTERN: TBD	
	NOTES: OFCI WALLPAPER, SPEC TBD BY CLIENT SELECTION	

MASONRY		
MATERIAL	SPECIFICATION	LOCATION
BRICK 01 - BRK01 (PATTERN)	MANUFACTURER: SUMMIT BRICK COMPANY (LAKEWOOD PLANT)	EXTERIOR + INTERIOR
	MATERIAL: FACE BRICK	
	SIZE: MODULAR (7-5/8" x 2-1/4" x 3-5/8")	
	INSTALLATION: (A) RUNNING BOND, (B) RUNNING SAWTOOTH (C) STACK BOND / ARCH	
BRICK 02 - BRK02	MANUFACTURER: SUMMIT BRICK COMPANY (LAKEWOOD PLANT)	EXTERIOR INFILL
	MATERIAL: FACE BRICK	
	SIZE: MODULAR (7-5/8" x 2-1/4" x 3-5/8")	
	INSTALLATION: VERTICAL RUNNING BOND	
NOTES: LAYOUT PER NOTES IN A200 SERIES AND REFERENCED DETAILS. CONTRACTOR TO PROVIDE 24" X 24" MORTARED SAMPLE		

CONCRETE		
MATERIAL	SPECIFICATION	LOCATION
CONCRETE 01 - CONC 01 (LOCATION / SEALER)	MATERIAL: (A) EXISTING CONCRETE SLAB, (B) VERTICAL ELEMENTS	EXISTING CONCRETE REFINISHING
	COLOR / FINISH:	
	SEALANT: SPEC + LOCATIONS TBD BY ARCH / CONTRACTOR	
	NOTES: TO BE CLEANED OF ALL SURFACE STAINS AND CONSTRUCTION DEBRIS	
CONCRETE 02 - CONC 02	MATERIAL: CAST-IN PLACE CONCRETE WALLS	CONCRETE WALLS EXTERIOR
	COLOR / FINISH: MATCH EXISTING EXTERIOR WALLS	
	SEALANT: TBD BY ARCHITECT/CONTRACTOR	
	NOTES: FORMWORK SAMPLE TO BE APPROVED PRIOR TO POURING SAMPLE WALL. CONTRACTOR TO PROVIDE WALL SAMPLE PRIOR TO EXECUTION OF FINISHED WALLS.	
CONCRETE 03 - CONC 03	MATERIAL: CAST-IN PLACE CONCRETE WALLS	CONCRETE COURTYARD WALL
	COLOR / FINISH: BOARD FORMED CONCRETE WALL, ROUGH SAWN 6" NOMINAL BOARDS	
	SEALANT: TBD BY ARCHITECT/CONTRACTOR	
	NOTES: FORMWORK SAMPLE TO BE APPROVED PRIOR TO POURING SAMPLE WALL. CONTRACTOR TO PROVIDE WALL SAMPLE PRIOR TO EXECUTION OF FINISHED WALLS.	

METALS		
MATERIAL	SPECIFICATION	LOCATION
METAL 01 - MTL01	FABRICATOR:	EXTERIOR STEEL STRUCTURAL SHAPES
	MATERIAL: PAINTED HOT ROLLED STEEL PLATE AND STRUCTURAL SHAPES	
	FINISH: SURFACE TO BE BONDED AND SANDED AS REQUIRED TO DRESS UP WELDED JOINTS, SEAMS, AND SURFACE IMPERFECTIONS LARGER THAN 1/8". ALL EDGES TO BE GROUND SMOOTH IF FACTORY EDGE NOT AVAILABLE. ALL REQ'D SURFACE FASTENERS SHALL BE COUNTERSUNK FLUSH AND FINISHED ALL SIDES. NO BONDO APPROVED OVER FASTENERS UNLESS TACK WELDED FIRST.	
	PAINT: PAINT 04	
METAL 02 - MTL02	FABRICATION: WHERE POSSIBLE ALL WELDING TO BE LIMITED TO BLIND SIDE OR PLUG WELDED WHERE ABLE TO BE CONCEALED BY OTHER FINISHES. ALL VISIBLE WELDS ARE TO BE GROUND SMOOTH. DRY FIT JOINTS ALLOWED PENDING APPROVED SAMPLE.	EXTERIOR SCREEN PANELS
	NOTES: CONTRACTOR SHALL PROVIDE SAMPLE SHOWING FINISHED FIELD CONDITION AS WELL AS ALL CONNECTION / EDGE DETAILS.	
	FABRICATOR:	
	SUPPLIER: MCNICHOLS	
METAL 03 - MTL03	MATERIAL: 11 GA. WOVEN WIRE MESH, 1" X 1" (MCNICHOLS # 3692220048)	KITCHEN, DISH PIT, PREP
	PAINT: PAINT 04	
	FABRICATION: PANELS CUT TO SIZE OF FRAMES WITH CONSISTENT GAP TO EDGE (1/8" MAX), SPOT WELDED TO ANGLE FRAMES AS REQUIRED TO ENSURE DURABLE INSTALLATION	
	NOTES: CONTRACTOR TO PROVIDE SAMPLE SHOWING FINISHED FIELD CONDITION AS WELL AS ALL CONNECTION / EDGE DETAILS PRIOR TO FABRICATION.	
METAL 04 - MTL04	FABRICATOR:	BROKEN METAL DETAILS
	MATERIAL: 304 STAINLESS STEEL - THICKNESS MINIMUMS: COUNTERTOPS, BACK SPLASHES, DRAWERS/DOORS, BRACING - 14GA; LEGS, RAILS, FIXED SHELVING - 18 GA.	
	FINISH: #4 GRAIN STAINLESS STEEL	
	FABRICATION: BROKEN AND WELDED WITH ALL WELDS/SEAMS FULLY GROUND SMOOTH. ALL LEGS TO HAVE ADJUSTABLE FEET OR HEAVY DUTY CASTERS AS SPECIFIED.	
NOTES: CONTRACTOR TO PROVIDE COMPLETE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.		
METAL 04 - MTL04	FABRICATOR:	BROKEN METAL DETAILS
	MATERIAL: BERRIDGE COATED SHEET METAL	
	COLOR: CHARCOAL	
	NOTES:	

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notes:

revision:

210426 ISSUE FOR PERMIT

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

FINISH SCHEDULE

date plotted: 26 APRIL 2021
scale: N.T.S.

A-700

notes:

revision:

210426 ISSUE FOR PERMIT

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

PARTITION TYPE SCHEDULE

date plotted: 26 APRIL 2021
scale: N.T.S.

A-701

01 | NEW 6" METAL STUD WALL

PLAN DETAIL	TYPE	SIDE X SHEATHING	SIDE Y SHEATHING	INSULATION	REMARKS
	A	5/8" GWB	5/8" GWB	R-19 BATT	
	B	5/8" DENSSHIELD TILE BACKER	5/8" DENSSHIELD TILE BACKER	R-19 BATT	
	C	5/8" GWB	5/8" DENSSHIELD TILE BACKER	R-13 BATT	
	D	(2) LAYERS 1/2" DUROCK CEMENT BOARD W/ OFFSET TAPED JOINTS	5/8" DENSSHIELD TILE BACKER	NON-COMBUSTIBLE MINERAL WOOL BATT	
	E				
	F				
	G				
	H				

02 | NEW 3-5/8" METAL STUD WALL

PLAN DETAIL	TYPE	SIDE X SHEATHING	SIDE Y SHEATHING	INSULATION	REMARKS
	A	5/8" GWB	5/8" GWB	R-13 BATT	
	B	5/8" DENSSHIELD TILE BACKER	5/8" DENSSHIELD TILE BACKER	R-13 BATT	
	C	5/8" GWB	5/8" DENSSHIELD TILE BACKER	R-13 BATT	
	D				
	E				
	F				
	G				
	H				

03 | 3-5/8" METAL STUD FURRING @ EXISTING WALL

PLAN DETAIL	TYPE	SIDE X SHEATHING	SIDE Y SHEATHING	INSULATION	REMARKS
	A	5/8" GWB	EXISTING WALL TO REMAIN	R-13 BATT	
	B	5/8" DENSSHIELD TILE BACKER	EXISTING WALL TO REMAIN	R-13 BATT	
	C				
	D				
	E				
	F				
	G				
	H				

04 | NEW SHEATHING @ EXISTING WALL FRAMING

PLAN DETAIL	TYPE	SIDE X SHEATHING	SIDE Y SHEATHING	INSULATION	REMARKS
	A	5/8" GWB	EXISTING WALL TO REMAIN	N/A	
	B	5/8" DENSSHIELD TILE BACKER	EXISTING WALL TO REMAIN	N/A	
	C	EXISTING SHEATHING TO REMAIN, NEW FINISH PRE INT. ELEVATIONS	EXISTING WALL TO REMAIN	N/A	
	D	(2) LAYERS 1/2" DUROCK CEMENT BOARD W/ OFFSET TAPED JOINTS	EXISTING WALL TO REMAIN	N/A	
	E				
	F				
	G				
	H				

05 | NEW EXTERIOR PLASTER WALL (REF. WALL SECTION 01/A-350)

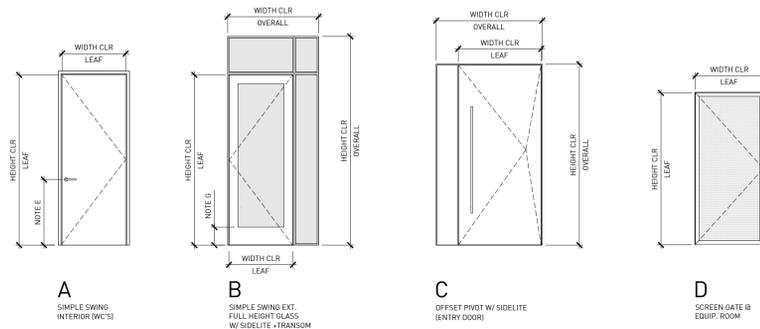
PLAN DETAIL	TYPE	SIDE X SHEATHING	SIDE Y SHEATHING	INSULATION	REMARKS
	A	5/8" GWB	REF. WALL SECTION	REF. WALL SECTION	
	B	5/8" DENSSHIELD TILE BACKER	REF. WALL SECTION	REF. WALL SECTION	
	C				
	D				
	E				
	F				
	G				
	H				

06 | NEW EXTERIOR BRICK WALL (REF. WALL SECTION 04/A-350)

PLAN DETAIL	TYPE	SIDE X SHEATHING	SIDE Y SHEATHING	INSULATION	REMARKS
	A	5/8" GWB	REF. WALL SECTION	REF. WALL SECTION	
	B	5/8" DENSSHIELD TILE BACKER	REF. WALL SECTION	REF. WALL SECTION	
	C	(2) LAYERS 1/2" DUROCK CEMENT BOARD W/ OFFSET TAPED JOINTS	REF. WALL SECTION	REF. WALL SECTION	
	D				
	E				
	F				
	G				
	H				
	J				

02 | DOOR SCHEDULE

DOOR ID				NOMINAL SIZE					DOOR PROPERTIES					DETAILS			REMARKS	
TAG	LOCATION	ETR/NEW	TYPE	OPERATION	WIDTH (LEAF)	WIDTH (OVERALL)	HEIGHT (LEAF)	HEIGHT (OVERALL)	THICKNESS	MATERIAL	FINISH	HANDLE / PULL	HINGE / CLOSER	STOP / CATCH	JAMB	SILL		HEAD
100.1	ENTRY	NEW	C	CUSTOM WOOD OFFSET PIVOT W/ FIXED SIDE PANEL	4'-0"	5'-2 1/4" (V.I.F.)	8'-0"	9'-7" (V.I.F.)	2"	CUSTOM SOLID WOOD	WOOD 01	CUSTOM STEEL AND WOOD HANDLE - ADAMS RITE 1830 BOTTOM RAIL SWING BOLT W/ 4065/4066 CYLINDER (THUMB TURN ON INT) IN 355 ANODIZED BLACK	RIXSON MODEL H40 W/ HH345 TOP PIVOT, 100" HOLD OPEN	ROCKWOOD 446-BSP FLOOR STOP				TAS/ADA COMPLIANT. MUST PROVIDE WEATHERPROOF SEAL WHEN CLOSED PER HEALTH CODE, NOTE J
100.2	ENTRY	ETR	-	SIMPLE SWING DOOR W/ TRANSOM WINDOW	3'-0" (V.I.F.)		8'-0" (V.I.F.)	10'-4" (V.I.F.)	1-3/4" (V.I.F.)	ALUMINUM STOREFRONT	EXISTING TO REMAIN	NEW CORBIN RUSSWIN ED7200 PANIC LISTED RIM EXIT DEVICE (BLACK)	EXISTING TO REMAIN	EXISTING TO REMAIN				EXISTING TO REMAIN WITH NEW INTERIOR EGRESS HARDWARE - EGRESS DOOR, TAS/ADA COMPLIANT. MUST PROVIDE WEATHERPROOF SEAL WHEN CLOSED PER HEALTH CODE
102.1	DINING ROOM	ETR	-	SWING DOOR PAIR	3'-0" (V.I.F.)	6'-0" (V.I.F.)	9'-7" (V.I.F.)	2" (V.I.F.)	2"	CUSTOM STEEL & GLASS	PAINT 03B	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN				EXISTING TO REMAIN - REPAIR AND REPAINT AS REQ'D
102.2	DINING ROOM	ETR	-	SWING DOOR PAIR	3'-0" (V.I.F.)	6'-0" (V.I.F.)	9'-7" (V.I.F.)	2" (V.I.F.)	2"	CUSTOM STEEL & GLASS	PAINT 03B	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN				EXISTING TO REMAIN - REPAIR AND REPAINT AS REQ'D
105.1	HALL / POLISH	ETR + NEW	B	FULL LITE HOLLOW MTL DOOR W/ SIDELITE AND TRANSOM	3'-0"	4'-10" (V.I.F.)	9'-6"	12'-9" (V.I.F.)	1-3/4" (LEAF) 6-1/2" (MULL)	HOLLOW METAL	PAINT 04B	CORBIN RUSSWIN ED7200 PANIC LISTED RIM EXIT DEVICE (BLACK)	(4) MCKINNEY 5 KNUCKLE BALL BEARING RAISED BARREL FULL MORTISE HINGES - RB-TA2714 - BSP, CORBIN RUSSWIN DDC3210 CLOSER (BLACK)	ROCKWOOD 446-BSP FLOOR STOP				EGRESS DOOR, TAS/ADA COMPLIANT. MUST PROVIDE WEATHERPROOF SEAL WHEN CLOSED PER HEALTH CODE
108.1	ELEVATOR MECH	ETR	-	SIMPLE SWING DOOR	3'-0" (V.I.F.)		8'-0" (V.I.F.)		1-3/4"	HOLLOW METAL	PAINT 04B	EXISTING TO REMAIN	EXISTING TO REMAIN	EXISTING TO REMAIN				EXISTING TO REMAIN - REPAIR AS REQ'D AND REPAINT
108.2	ELEVATOR MECH	NEW	D	SIMPLE SWING GATE	3'-0" (V.I.F.)		8'-4"		2"	CUSTOM STEEL GATE	METAL 01, METAL 02	N/A	BAER FES WELD-ON STEEL TEARDROP HINGE	CUSTOM STEEL LATCH BOLT + LOCK				COORDINATE WITH SCREEN WALL ELEVATION + DETAILS
111.1	UNISEX WC	NEW	A	SIMPLE SWING DOOR	2'-4"		8'-0"		1-3/4"	SOLID CORE WOOD	WOOD 01 VENEER	CORBIN RUSSWIN ML2060 (PRIVACY), MUSEO GEORGIA 102 (PULL) + 720F62 (DCC) - COLOR: 722 BLACK OXIDIZED BRONZE	(4) MCKINNEY 5 KNUCKLE BALL BEARING RAISED BARREL FULL MORTISE HINGES - RB-TA2714 - BSP	ROCKWOOD 446-BSP FLOOR STOP				SOLID HARDWOOD JAMBS, VENEERED SOLID CORE DOOR, RAISED BARREL HINGES REQUIRED DEEPER THAN TYP. STRIKE - ALL HARDWARE TO BE MATTE BLACK
112.1	UNISEX WC	NEW	A	SIMPLE SWING DOOR	2'-4"		8'-0"		1-3/4"	SOLID CORE WOOD	WOOD 01 VENEER	CORBIN RUSSWIN ML2060 (PRIVACY), MUSEO GEORGIA 102 (PULL) + 720F62 (DCC) - COLOR: 722 BLACK OXIDIZED BRONZE	(4) MCKINNEY 5 KNUCKLE BALL BEARING RAISED BARREL FULL MORTISE HINGES - RB-TA2714 - BSP	ROCKWOOD 446-BSP FLOOR STOP				SOLID HARDWOOD JAMBS, VENEERED SOLID CORE DOOR, RAISED BARREL HINGES REQUIRED DEEPER THAN TYP. STRIKE - ALL HARDWARE TO BE MATTE BLACK
113.1	UNISEX WC	NEW	A	SIMPLE SWING DOOR	3'-0"		8'-0"		1-3/4"	SOLID CORE WOOD	WOOD 01 VENEER	CORBIN RUSSWIN ML2060 (PRIVACY), MUSEO GEORGIA 102 (PULL) + 720F62 (DCC) - COLOR: 722 BLACK OXIDIZED BRONZE	(4) MCKINNEY 5 KNUCKLE BALL BEARING RAISED BARREL FULL MORTISE HINGES - RB-TA2714 - BSP	ROCKWOOD 446-BSP FLOOR STOP				SOLID HARDWOOD JAMBS, VENEERED SOLID CORE DOOR, RAISED BARREL HINGES REQUIRED DEEPER THAN TYP. STRIKE - ALL HARDWARE TO BE MATTE BLACK
114.1	UNISEX WC	NEW	A	SIMPLE SWING DOOR	3'-0"		8'-0"		1-3/4"	SOLID CORE WOOD	WOOD 01 VENEER	CORBIN RUSSWIN ML2060 (PRIVACY), MUSEO GEORGIA 102 (PULL) + 720F62 (DCC) - COLOR: 722 BLACK OXIDIZED BRONZE	(4) MCKINNEY 5 KNUCKLE BALL BEARING RAISED BARREL FULL MORTISE HINGES - RB-TA2714 - BSP	ROCKWOOD 446-BSP FLOOR STOP				SOLID HARDWOOD JAMBS, VENEERED SOLID CORE DOOR, RAISED BARREL HINGES REQUIRED DEEPER THAN TYP. STRIKE - ALL HARDWARE TO BE MATTE BLACK
200.1	BAR SEATING	ETR	-	SWING DOOR PAIR	3'-0" (V.I.F.)	6'-0" (V.I.F.)	8'-0" (V.I.F.)	10'-7" (V.I.F.)	1-3/4" (V.I.F.)	WOOD WINDOW	INTERIOR: PAINT 03B EXTERIOR: PAINT 04B	EXISTING PANIC HARDWARE TO REMAIN	EXISTING CLOSER TO REMAIN	EXISTING TO REMAIN				EXISTING TO REMAIN - REPAIR AS REQ'D AND REPAINT INTERIOR
204.1	HALLWAY	ETR + NEW	B	FULL LITE HOLLOW MTL DOOR W/ SIDELITE AND TRANSOM	3'-0"	4'-10" (V.I.F.)	8'-0" (V.I.F.)	10'-0"	1-3/4" (LEAF) 6-1/2" (MULL)	HOLLOW METAL	PAINT 04B	EXISTING PANIC HARDWARE TO REMAIN	EXISTING HINGES + CLOSER TO REMAIN	ROCKWOOD 446-BSP FLOOR STOP				EXISTING DOOR TO BE MODIFIED + RELOCATED, EGRESS DOOR, TAS/ADA COMPLIANT. MUST PROVIDE WEATHERPROOF SEAL WHEN CLOSED PER HEALTH CODE



FENESTRATION NOTES

- A. CONTRACTOR TO PROVIDE ARCHITECT WITH SUBMITTAL FOR ALL DOORS, HARDWARE, FINISHES, AND TRIM PRIOR TO PURCHASING OR MANUFACTURE
- B. CONTRACTOR TO REVIEW ALL DETAILS REFERENCED IN THE PROVIDED SCHEDULES PRIOR TO ORDERING AND INSTALLATION ON ANY AND ALL DOORS AND WINDOWS.
- C. ANY CONFLICTS BETWEEN THE INFORMATION PROVIDED IN THESE SCHEDULES AND THAT FOUND IN ANY OTHER DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- D. ANY SITE CONDITIONS THAT CONFLICT WITH THE INFORMATION PROVIDED IN THE SCHEDULES OR REFERENCED DETAILS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- E. ALL DOOR KNOBS/LEVERS TO BE MOUNTED AT 3'-1" AFF, U.O.N.
- F. ALL DOORS IN ACCESSIBLE PATHS OF EGRESS OR PROVIDING ACCESS TO ACCESSIBLE SPACES TO CONFORM TO APPLICABLE CODE IN THE 2012 TEXAS ACCESSIBILITY STANDARDS (TAS) PUBLISHED BY THE ARCHITECTURAL BARRIERS DIVISION OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR).
- G. PER 2012 TAS 404.2.10 DOOR AND GATE SURFACES: Swinging Door and gate surfaces within 10 inches of the finished floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16 inch of the same plane as the other. Cavities created by added kick plates shall be capped.
- H. PER 2012 TAS 404.2.11 VISION LIGHTS: Doors, gates, and side lights adjacent to doors or gates, containing one or more glazing panels that permit viewing through the panels shall have the bottom of at least one glazed panel located 43 inches maximum above the finished floor.
- J. PER 2015 IBC 1010.1.9.3 LOCKS AND LATCHES: In buildings in occupancy group A having an occupant load of 300 or less, groups B, F, M, and S, and in places of religious worship, the main door or doors are permitted to be equipped with key-operated locking devices from the egress side provided:
 - 2.1. The locking device is readily distinguishable as locked.
 - 2.2. A readily visible durable sign is posted on the egress side on or adjacent to the door stating THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED. The sign shall be in letters 1 inch (25mm) high on a contrasting background
 - 2.3. The use of a key-operated locking device is revocable by the building official for due cause.

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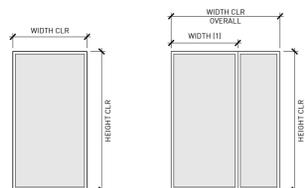
notes:

revision:

210426 ISSUE FOR PERMIT

01 | WINDOW SCHEDULE

WINDOW INFORMATION										DETAILS			GLASS		REMARKS
TAG	LOCATION	ETR/NEW	TYPE	MAKE / MANUFACTURER	DESCRIPTION	FRAME FINISH (EXTERIOR)	FRAME FINISH (INTERIOR)	WIDTH	HEIGHT	HEAD HT. (AFF)	JAMB	SILL	HEAD	GLASS TYPE	
100.A	ENTRY	ETR	-	EXISTING TO REMAIN	CUSTOM STEEL WINDOW ASSEMBLY (CONTAINS NEW DOOR 101.1)	PAINT 04B	PAINT 04B	ETR	ETR	9'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT ALL STEEL COMPONENTS AS NOTED
102.A	DINING	ETR	-	EXISTING TO REMAIN	CUSTOM STEEL FIXED WINDOW	PAINT 04B	PAINT 04B	ETR	ETR	9'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT ALL STEEL COMPONENTS AS NOTED
102.B	DINING	ETR	-	EXISTING TO REMAIN	CUSTOM STEEL WINDOW ASSEMBLY (CONTAINS ETR DOORS 102.1 + 102.2)	PAINT 04B	PAINT 04B	ETR	ETR	9'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT ALL STEEL COMPONENTS AS NOTED
102.C	DINING	ETR	-	EXISTING TO REMAIN	CUSTOM STEEL CLERESTORY WINDOW ASSEMBLY	PAINT 04B	PAINT 04B	ETR	ETR	9'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT ALL STEEL COMPONENTS AS NOTED
200.A	BAR SEATING	ETR	-	EXISTING TO REMAIN	DOUBLE HUNG WOOD WINDOW	PAINT 05B	PAINT 03B	ETR	ETR	10'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT INTERIOR + EXTERIOR AS NOTED
200.B	BAR SEATING	ETR	-	EXISTING TO REMAIN	DOUBLE HUNG WOOD WINDOW	PAINT 05B	PAINT 03B	ETR	ETR	10'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT INTERIOR + EXTERIOR AS NOTED
200.C	BAR SEATING	ETR	-	EXISTING TO REMAIN	DOUBLE HUNG WOOD WINDOW	PAINT 05B	PAINT 03B	ETR	ETR	10'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT INTERIOR + EXTERIOR AS NOTED
200.D	BAR SEATING	ETR	-	EXISTING TO REMAIN	DOUBLE HUNG WOOD WINDOW	PAINT 05B	PAINT 03B	ETR	ETR	10'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT INTERIOR + EXTERIOR AS NOTED
200.E	BAR SEATING	ETR	-	EXISTING TO REMAIN	DOUBLE HUNG WOOD WINDOW	PAINT 05B	PAINT 03B	ETR	ETR	10'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT INTERIOR + EXTERIOR AS NOTED
200.F	BAR SEATING	ETR	-	EXISTING TO REMAIN	DOUBLE HUNG WOOD WINDOW	PAINT 05B	PAINT 03B	ETR	ETR	10'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT INTERIOR + EXTERIOR AS NOTED
200.G	BAR SEATING	ETR	-	EXISTING TO REMAIN	DOUBLE HUNG WOOD WINDOW	PAINT 05B	PAINT 03B	ETR	ETR	10'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT INTERIOR + EXTERIOR AS NOTED
200.H	BAR SEATING	ETR	-	EXISTING TO REMAIN	DOUBLE HUNG WOOD WINDOW	PAINT 05B	PAINT 03B	ETR	ETR	10'-7" (V.I.F.)				EXISTING TO REMAIN	EXISTING TO REMAIN - REPAIR AS REQ'D, REPAINT INTERIOR + EXTERIOR AS NOTED
204.A	HALLWAY	ETR+NEW	02	EXISTING HOLLOW METAL FRAME + NEW TO MATCH	MULLED WINDOW ASSEMBLY	PAINT 04B	PAINT 04B	OVERALL: 4'-10" (V.I.F.) (1): 3'-1 1/2"	6'-4" (V.I.F.)	9'-6"				EXISTING TO REMAIN + CARDINAL 366 LOW-E 1" IGU	EXISTING TO BE MODIFIED - RAKED HEAD OF EXISTING WINDOW ASSEMBLY TO BE REMOVED AND REFRAMED/ REGLAZED WITH NEW LEVEL HEAD AS NOTE. REPAIR AS REQ'D, REPAINT INTERIOR + EXTERIOR AS NOTED
206.A	OFFICE	NEW	01	HOLLOW METAL FRAME	SINGLE FIXED WINDOW	PAINT 04B	PAINT 04B	3'-1 1/2"	5'-11 1/4" (V.I.F.)	10'-8" (V.I.F.)				CARDINAL 366 LOW-E 1" IGU	COORDINATE WITH SCREEN WALL ELEVATION + DETAILS



01
FIXED WINDOW

02
UNEQUAL HORIZONTAL MULL
FIXED WINDOW PAIR

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

DOOR & WINDOW SCHEDULE

date plotted: 26 APRIL 2021
scale: N.T.S.

A-710

01 | LIGHTING SCHEDULE

SYMBOL	NO.	LOCATION	FIXTURE TYPE	SWITCHING	MANUFACTURER / PRODUCT	UNIT NO.	LAMP	FINISH / TRIM	REMARKS
○	L1	THROUGHOUT	2" RECESSED DOWNLIGHT	DIMMER	GOTHAM	2" INCITO - IC02 27/05 WR 45D MVOLT UGZ [WHITE CLG]	5.6 W LED, 2700 K		
●	L2	THROUGHOUT	2" RECESSED ADJUSTABLE DOWNLIGHT	DIMMER	GOTHAM	2" INCITO ADJ. - IC02ADJ 27/05 WR TFC 40D MVOLT UGZ [WHITE CLG]	5.6 W LED, 2700 K		
●	L2B	THROUGHOUT	2" RECESSED ADJUSTABLE DOWNLIGHT [HIGH LUMEN OUTPUT]	DIMMER	GOTHAM	2" INCITO ADJ. - IC02ADJ 27/15 WR TFC 40D MVOLT UGZ [WHITE CLG]	19.7 W LED, 2700 K		
○	L3	THROUGHOUT	4" RECESSED DOWNLIGHT	DIMMER	LITHONIA	LDN4 27/20 L04WR MVOLT G21	22W LED, 2700K		
○	L4	COMMUNITY LAV	DECORATIVE PENDANT	DIMMER	TBD	OFICI PENDANT WITH E26 BASE LED RETROFIT BULB	13W LED [100W EQUIVALENT]		
○	L5	DINING ROOM	DECORATIVE PENDANT	DIMMER	TBD	OFICI PENDANT WITH E26 BASE LED RETROFIT BULB	13W LED [100W EQUIVALENT]		
○	L6	DINING ROOM	DECORATIVE PENDANT	DIMMER	TBD	OFICI PENDANT WITH E26 BASE LED RETROFIT BULB	13W LED [100W EQUIVALENT]		
○	L7	BAR	DECORATIVE PENDANT	DIMMER	TBD	OFICI PENDANT WITH E26 BASE LED RETROFIT BULB	13W LED [100W EQUIVALENT]		
—	L8	MILLWORK	LED STRIP LIGHT FIXTURE	DIMMER	OPTIC ARTS	LINE LED - LL91 STP-WET 50 27K 5L65 NC [LENGTH PER PLANS] FOTS EXTRUDED ALUMINUM CHANNEL HOUSING [VISIBLE LOCATIONS]	2W/LF LED TAPE, 2700K		
□	L9	DISH / PREP	24" X 24" LED LAY-IN CEILING FIXTURE	DIMMER	LITHONIA	EPANL 22 4000L 80CRI 30K MINI EZT MVOLT	33W LED, 3000K		
□	L10	DINING ROOM	TRACK LIGHTING SYSTEM	DMMER	JUNO	TRAC LITES - R606L 27K 80CRI PDIM NFL BL	13W LED (PER HEAD), 2700K		
⊕	L11	OFFICE	LOW PROFILE SURFACE MOUNT	DMMER	LITHONIA	FMLRL 11 148 30	16W LED, 3000K		
⊕	L12 [ETR]	BALCONY	EXISTING EXT. SURFACE MOUNT ADJUSTABLE	DIMMER	ETR	ETR	ETR		
⊕	L13 [ETR]	BALCONY	EXISTING EXT. DECORATIVE SCNCE	DIMMER	ETR	ETR	ETR		
⊕	L14 [ETR]	COURTYARD	EXISTING EXT. UP/DOWN SCNCE	DIMMER	ETR	ETR	ETR		
—	L14	WALK IN	SURFACE MOUNTED LINEAR FIXTURE - SPEC'D AS PART OF WALK IN COOLER	ON/OFF - LOCAL	PER MFR'S SPEC'S	PER MFR'S SPEC'S			
⊕	L15	EXHAUST HOOD	SAFETY LIGHTS IN HOOD	ON/OFF - LOCAL	PER MFR'S SPEC'S	PER MFR'S SPEC'S			
⊕	L20	COURTYARD	EXT. SURFACE MOUNT ADJUSTABLE	DIMMER	HYDREL	CEDAR P1 80CRI 27K 12 40 DEG 350R FLC CN4	4.5W LED		
⊗	F1	COURTYARD	52" OUTDOOR CEILING FAN	SPEED CONTROL	MINKA AIRE	SIMPLE OUTDOOR FAN - F787-CL [BLACK]	4.9W-21.7W VARIABLE SPEED		
⊗	F2	BATHROOMS	EXHAUST FAN	OCC. SENSOR	FANTECH	PB270-2 BATH FAN W/ 2X GRILL	70W		
⊗	E1	ALL BUILDING	CEILING MOUNTED EXIT SIGN		LITHONIA	EDGR-1-G	2.2W LED		
⊕	EE	ALL BUILDING	AIMABLE LED EMERGENCY LIGHT		LITHONIA	ELM2L	LED		

02 | ELECTRICAL SCHEDULE

SYMBOL	NO.	FIXTURE TYPE	MANUFACTURER	UNIT NO.	REMARKS
Z[##]		LIGHTING CONTROL SYSTEM ZONE	ACUITY BRANDS	FRESCO SYSTEM POWERPACK	REF. LIGHTING CONTROL SCHEDULE
MASTER		LIGHTING CONTROL SYSTEM	ACUITY BRANDS	FRESCO TOUCHSCREEN SYSTEM	REF. LIGHTING CONTROL SCHEDULE
D		DIMMER SWITCH	LUTRON	DIVA SERIES PADDLE SWITCH W/ SIDE SLIDE DIMMER	CONTRACTOR SHALL GANG ADJACENT SWITCHES AND RECEPS WHERE APPLICABLE AND INDICATED BY THE A500 SERIES INTERIOR ELEVS. THIS SHALL INCLUDE LOW VOLT RECEPS WHERE ALLOWED BY CODE AND PROPERLY DIVIDED IN THE BOX. CONTRACTOR SHALL ENSURE THAT ALL SWITCHES WORK WITH LIGHT FIXTURES AS INTENDED BY MANUFACTURER. WHERE CONTROLS AS SPECIFIED BY ARCHITECT ARE INCOMPATIBLE WITH THE PROPER FUNCTION OF THE LIGHTS, CONTRACTOR SHALL SUBMIT ALTERNATIVE OPTION TO ARCHITECT IF A CHANGE IN FUNCTION OR APPEARANCE IS REQ'D.
3		3 WAY SWITCH	LUTRON	DIVA SERIES	
OC		OCCUPANCY SENSOR	LUTRON	DIVA SERIES	
F		FAN SPEED SWITCH	LUTRON	DIVA SERIES PADDLE SWITCH W/ SIDE SLIDE DIMMER	
⊕		DUPLEX RECEPTACLE	LUTRON	DIVA SERIES	
⊕		QUADRUPLEX RECEPTACLE	LUTRON	DIVA SERIES	
⊕DA		DEDICATED APPLIANCE RECEPTACLE	LUTRON	DIVA SERIES	
⊕GFI		GROUND FAULT INTERRUPT DUPLEX	LUTRON	DIVA SERIES	
⊕USB		DUPLEX RECEPTACLE W/ USB OUTLET	LUTRON	DIVA SERIES	
⊕220V		220V DUPLEX RECEPTACLE	LUTRON	DIVA SERIES	
⊕WPGFI		WEATHER-PROTECTED GFI RECEPTACLE	BELL OR SIM	5839-6 [WHITE] FOR WHITE STUCCO LOCATIONS; 5839-5 [GRAY] FOR WOOD/BRICK LOCATIONS	"HZ" INDICATES HORIZONTAL INSTALLATION
⊕		FLOOR MOUNTED DUPLEX RECEPTACLE	THOMAS AND BETTS	BRASS DUPLEX RECEPT COVER 5.75" DIA PART #P60CACP, UNSPSC CODE 39121300	LOCATE AND INSTALL PER APPLIANCE REQ'S
V		VOICE/DATA OUTLET	LUTRON	PLEASE INCLUDE (2) DATA WIRES PER LOCATION - CAT6 OR OTHER APPROVED BY CLIENT	AS REQ'D FOR APPLIANCE INSTALLATION
C		CABLE OUTLET	LUTRON	PROVIDE CABLE PORTS AS REQUIRED BY CLIENTS WHERE INDICATED	CONFIRM FINISH AFTER FINAL MATERIAL SELECTIONS
H		HDMI PORT	LUTRON	THIS SYMBOL INDICATES WHERE HDMI CABLE SHOULD BE RUN FROM AN AV CAB TO A TV.	USES 68 OR 600 SERIES FLOOR BOXES
				LUTRON CLARO SERIES SCREWLESS PLATES - COLOR OF PLATE TO BE COORDINATED WITH COLOR OF RECEPT. SATIN SNOW WHITE [SW] TO BE THE STANDARD COLOR FOR ALL WHITE PAINTED SURFACES. THE COLOR OF RECEPS AND PLATES ON ALL OTHER SURFACES, PAINT COLORS, OR MATERIALS SHALL BE DETERMINED BY ARCHITECT PRIOR TO ORDERING OF FIXTURES. WHITE FACE PLATES TO BE USED IN PLASTER AND PAINTED GWB WALLS. STAINLESS STEEL PLATES TO BE USED IN ALL OTHER SURFACES, UON. CONTRACTOR TO CONFIRM FINAL SWITCH AND PLATE COLORS PRIOR TO ORDERING EQUIPMENT.	ARCH PREFERS LOW VOLT AND POWER IN SAME FACE PLATE WITH PARTITIONED BOX WHERE ALLOWED BY CODE
					ARCH PREFERS LOW VOLT AND POWER IN SAME FACE PLATE WITH PARTITIONED BOX WHERE ALLOWED BY CODE
					ARCH PREFERS LOW VOLT AND POWER IN SAME FACE PLATE WITH PARTITIONED BOX WHERE ALLOWED BY CODE

notes:

revision:

210426 ISSUE FOR PERMIT

LADINO
200 E GRAYSON ROAD SUITE 100
SAN ANTONIO, TX 78215



04/26/2021

SCHEDULES - LIGHTING,
ELECTRICAL, MECHANICAL

date plotted: 26 APRIL 2021
scale: N.T.S.

A-720

03 PLUMBING SCHEDULE								
TAG	QTY	DESCRIPTION	MANUFACTURER	MODEL	FINISH	ACCESSORIES	FILTERED WATER	REMARKS
P1	3	COUNTERTOP MOUNT HAND SINK	ADVANCE TABCO	DI-1-25	STAINLESS STEEL	PLEXIGLASS SIDE SPLASHES INSTALLED AFTER SINK	YES	SINK TO BE BUILT INTO TABLES F1, F3 AND F8 PER A850 SERIES FABRICATION DTLS
		DECK MOUNT GOOSENECK FAUCET	ADVANCE TABCO	K-52	STAINLESS STEEL			
P2	2	WALL MOUNT HAND SINK	ADVANCE TABCO	7-PS-60	STAINLESS STEEL	STAINLESS SPLASH GUARDS AS REQ'D BY LOCATION	YES	
		SPLASH MOUNT GOOSENECK FAUCET	ADVANCE TABCO	K-59	STAINLESS STEEL			
P3	1	THREE BASIN SINK WITH DRAIN BOARD	ADVANCE TABCO	FC-3-1824-18RL	STAINLESS STEEL		YES	
		SPLASH MOUNT GOOSENECK FAUCET	ADVANCE TABCO	K-1	STAINLESS STEEL			
P4	1	DISH MACHINE PRE- WASH SINK	CUSTOM	CUSTOM	STAINLESS STEEL		YES	FABRICATED AS PART OF F6 DISH DROP AND INFEED TABLE
		SPLASH MOUNT PRE-RINSE HOSE SPRAYER	ADVANCE TABCO	K-116	STAINLESS STEEL			
P5	1	DEEP WELL PREP SINK W/ STAINLESS TABLE	ADVANCE TABCO	FC-1-2424-24 (CUSTOM DRAINBOARD EXTENSION K-450 - 60" OVERALL LENGTH)	STAINLESS STEEL		YES	
		SPLASH MOUNT HOSE SPRAYER FAUCET	ADVANCE TABCO	K-116	STAINLESS STEEL			
P6	1	SPARKLING / STILL WATER COLUMN TAP	ELKAY	OSC2K	STAINLESS STEEL		YES	PAIRED WITH UNDERCOUNTER CARBONATION CHILLER, LISTED AS A26
P7	4	MIXOLOGY STATION: DUMP SINK + DIPPER WELL + BLOWOUT RINSE	GLASTENDER	MTS-14	STAINLESS STEEL		YES	
P8	2	24" ICE WELL	GLASTENDER	IBA-24	STAINLESS STEEL		N/A	
		SPEED RAIL EXTENSION	GLASTENDER	CSR-24-SR	STAINLESS STEEL			
P9	2	BAR HAND SINKS	GLASTENDER	HSB-12	STAINLESS STEEL		YES	
P10	2	24" UNDERBAR GLASS STORAGE + DRAINBOARD	GLASTENDER	DBGR-24	STAINLESS STEEL		N/A	
P11	2	SPEED RACK	GLASTENDER	LDA-18S	STAINLESS STEEL		N/A	
P12	2	DRINK RAIL	CUSTOM		STAINLESS STEEL		N/A	CONTINUOUS BUTTED DRINK RAILS FULL LENGTH OF BAR, REF. A-850'S FOR SEGMENT LENGTHS PER LOCATION
P13	1	DEEP WELL PREP SINK	ADVANCE TABCO	FC-1-2424	STAINLESS STEEL		YES	
		SPLASH MOUNT HOSE SPRAYER FAUCET	ADVANCE TABCO	K-116	STAINLESS STEEL			
P14	1	MOP SINK	ADVANCE TABCO	9-OP-20	STAINLESS STEEL		YES	
		MOP SINK FAUCET	ADVANCE TABCO	K-240	STAINLESS STEEL			
P15	2	18" ICE WELL	GLASTENDER	IBB-18	STAINLESS STEEL			
P16	2	SPEED RACK	GLASTENDER	LDA-12S	STAINLESS STEEL			
P17		FLOOR SINK	WATTS	FS-790-L-4-NH-L6-5-7	STAINLESS STEEL			
P18	2	LINEAR FLOOR DRAIN						
P20	4	ADA COMPLIANT FLOOR MOUNTED TOILET	TOTO	ECO ULTRAMAX ONE PIECE ADA HEIGHT TOILET-MS84114EL	#01 COTTON	TOTO OPEN FRONT SEAT WITH COVER SC134	NO	TOILET TO BE MOUNTED WITH TOP OF SEAT (NOT TOP OF COVER) AT 18" AFF - REF. A001 FOR TOILET CLEARANCES AND INSTALLATION REQUIREMENTS, ORDER WITH ALTERNATE HAND TRIP LEVER AS REQ'D
P21	2	ADA COMPLIANT WALL MOUNTED TOUCH FREE FAUCET (BATTERY POWERED)	TOTO - HELIX	TEL 133-D20E	POLISHED CHROME		NO	REF. A500 SERIES INTERIOR ELEVATIONS FOR MOUNTING HEIGHT AND LOCATION OF FAUCET AND SINK. INSTALLATION MUST CONFORM TO TAS + ADA REQUIREMENTS - REF. A001 FOR APPLICABLE CLEARANCES AND MOUNTING HEIGHTS. ELECTRONICS FOR FAUCET TO BE MOUNTED UNDERNEATH COUNTERTOP AS TIGHT TO COUNTERTOP IS ALLOWABLE TO CODE TO ENSURE IT IS HIDDEN FROM VIEW. ALTERNATIVELY ELECTRONICS TO MOUNTED IN IN-WALL BOX
		COMMUNITY LAV. SINK	NEWBOLD STONE	CUSTOM	PRE-CAST CONCRETE	GRID STRAINER - TBD BY ARCH AND FABRICATOR; P-TRAP		

01 APPLIANCE AND EQUIPMENT SCHEDULE												
TAG	QTY	DESCRIPTION	MANUFACTURER	MODEL	POWER SPECS	DIMENSIONS (HxWxD)	WATER	GAS	DRAIN	REMARKS		
A1	1	PITA OVEN	FORNO BRAVO	ROMA 110-D	N/A (SOLID FUEL)	73" X 63" X 67"	NO	NO	NO			
A2	1	27" UNDERCOUNTER 2 DRAWER REFRIGERATED UNIT	CONTINENTAL	SW27N-FB-D	115V/60HZ/1PH - 2.46A	34" X 27" 1/2" X 32 3/16"	NO	NO	NO			
A3	1	COMBI OVEN	RATIONAL	ICOMBI CLASSIC 10 - HALF SIZE, GAS, LEFT-HINGED DOOR	208V/60HZ/2PH - 15A	41 7/8" X 33 1/2" X 33 1/8"	YES	YES	YES	ON MOBILE OVEN CART BASE, RATIONAL # 60.11.601 - PROVIDE QUICK-CONNECTIONS / EXTENDED CORDS PER MFR'S INSTALLATION REQUIREMENTS WITH MOBILE BASE		
A4	1	36" 6 BURNER CTOP RANGE	VULCAN	VHP636	N/A (GAS)	16.5" X 36" X 31.3"	NO	YES	NO	PROVIDE QUICK-DISCONNECT GAS HOSE FOR SERVICE / RELOCATION		
A5	1	16" 2 BASKET FLOOR FRYER	VULCAN	LQ400	N/A (GAS)	46 5/8" X 15 1/2" X 29 3/4"	NO	YES	NO	PROVIDE QUICK-DISCONNECT GAS HOSE FOR SERVICE / RELOCATION		
A6	1	36" 2 DRAWER REFRIGERATED BASE UNIT	CONTINENTAL	D366N	115V/60HZ/1PH - 2.5A	26 3/8" X 36" X 35 5/16"	NO	NO	NO			
A7	1	32" UNDERCOUNTER 2 DRAWER REFRIGERATED UNIT	CONTINENTAL	SW32N-FB-D	115V/60HZ/1PH - 2.46A	32" X 34" X 32 3/16"	NO	NO	NO			
A8	1	32" UNDERCOUNTER 2 DRAWER FREEZER UNIT	CONTINENTAL	SWF32N-FB-D	115V/60HZ/1PH - 5.6A	32" X 34" X 32 3/16"	NO	NO	NO			
A9	1	68" PREP TOP TABLE WITH DRAWERS	CONTINENTAL	CRA68-18M-D	115V/60HZ/1PH - 6.7A	42" X 68" X 36 1/16"	NO	NO	NO			
A10	1	CHARCOAL KEBAB GRILL	JOSPER MANGAL	MGJ-132	N/A (SOLID FUEL)	59" X 57 1/4" X 39 3/4"	NO	NO	NO			
A11	1	68" UNDERCOUNTER REFRIGERATED 4.5 DRAWER UNIT	CONTINENTAL	RA68N-D	115V/60HZ/1PH - 4.8A	35" X 36 5/16" X 68"	NO	NO	NO			
A12	1	TALL REACH-IN 2 DOOR FREEZER	CONTINENTAL	DL2FE-SS	115V/60HZ/1PH - 12.8A	86 3/4" X 57" X 35 1/2"	NO	NO	NO			
A13	1	WALK-IN COOLER - 8'-0" X 13'-0" (INTERIOR)	KOLPAK	CUSTOM		8'-6" X 8'-8" X 13'-8"	NO	NO	NO			
A14	1	DRIP COFFEE MACHINE	FETCO	CBS-2131XTS E213253	120V/60HZ/1PH - 13.0A	25 3/4" X 11 3/4" X 20 3/8"	YES	NO	NO	SUPPLY WITH FILTERED WATER		
A15	1	COFFEE GRINDER	GRINDMASTER	890B5 BLACK ETL SLIMLINE	120V/60HZ/1PH - 8.0A	27" X 7" X 15"	NO	NO	NO			
A16	1	SINGLE RACK VENTLESS IN-LINE DISH MACHINE	ECOLAB	EHT-V	240V/60HZ/1PH - 81.5A	78 1/2" X 29" X 31 1/2"	YES	NO	YES			
A17	1	72" UNDERCOUNTER 3 DOOR BAR COOLER	TRUE MANUFACTURING	TBB-24-72-S-HC	115V/60HZ/1PH - 2.7A	35 5/8" X 73 1/8" X 24 1/2"	NO	NO	NO			
A18	1	KEG DRAFT TOWER, 4 TAPS	TBD				NO	NO	YES			
A19	1	72" UNDERCOUNTER 3 DOOR GLASS FRONT BAR COOLER	TRUE MANUFACTURING	TBB-24-72G-S-HC-LD	115V/60HZ/1PH - 2.7A	35 5/8" X 73 1/8" X 24 1/2"	NO	NO	NO			
A20	1	UNDERCOUNTER BAR GLASS WASHER	ECOLAB	U-LT-1	120V/60HZ/1PH - 12A	33-3/4" X 24" X 25"	YES	NO	YES			
A21	1	48" UNDERCOUNTER 2 DOOR BAR COOLER	TRUE MANUFACTURING	TBB-24-48-S-HC	115V/60HZ/1PH - 2.1A	35 5/8" X 49 1/8" X 24 1/2"	NO	NO	NO			
A22	1	ICE MACHINE	HOSHIZAKI	(2) F-801M -H-C MODULAR CUBELET ICE MAKER (1) B-7005F 700LB STORAGE BIN	115V/60HZ/1PH - 20A	72" X 44" X 32.5"	YES	NO	YES	SUPPLY WITH FILTERED WATER		
A24	2	TALL REACH-IN 2 DOOR FRIDGE	CONTINENTAL	D2RN-SS	115V/60HZ/1PH - 6.9A	83 1/4" X 52" X 35 3/8"	NO	NO	NO			
A25	1	PLANETARY MIXER - 30 QT	GLOBE	SPC30	115V/60HZ/1PH - 16A	50.75" X 23.25" X 24.5"	NO	NO	NO			
A26	3	UNDERCOUNTER CARBONATION CHILLER	ELKAY	DSFBF180K	115V/60HZ/1PH - 3.2A	26 5/16" X 12 1/2" X 18 3/8"	YES	NO	YES	PAIRED WITH SPARKLING / STILL COLUMN TAP, LISTED AS P6		
A27	1	TABLETOP FOOD PROCESSOR	ROBOT COUPE	R 8	208V/60HZ/3PH - 9.9A	20 11/16" X 12 3/8" X 21 7/16"	NO	NO	NO			
A28	1	TALL REACH IN WINE STORAGE FRIDGE	ERODIB	USF168D	110V/5-15PH - 1.7A	71.3" X 23.4" X 26.8"	NO	NO	NO			
A29	4	GAS FIRED CEILING MOUNTED PATIO HEATER	BROMIC	TUNGSTEN GAS 500 SERIES BH0210004-1-NG	110V - 2A	15.9" X 25.4" X 14"	NO	YES	NO	INSTALL BACK TO BACK IN PAIRS WITH SHARED HANGER PER MFR'S DETAILS		
A31	-	POINT OF SALE SYSTEM	TOAST - IPADS				NO	NO	NO			

02 FABRICATION SCHEDULE									
TAG	QTY	DESCRIPTION	SUPPLIER	MATERIAL	POWER / WATER	DIMENSIONS (HxWxD)	DETAIL SHEETS	REMARKS	
F1	1	CUSTOM FABRICATED PREP TABLE OVER A11 LOWBOY WITH PANELS ENCLOSING REFRIGERATION, BUILT-IN HANDSINK P1 + CABINET ENCLOSING PLUMBING BELOW, BUILT-IN RACK FOR PROOFING PANS, OVERHEAD SHELVING SUPPORTED ON TUBE SUPPORT + ADJACENT WALL	OWNER	STAINLESS STEEL - METAL 03	WIREMOLD MOUNTED TO UNDERSIDE OF BOTTOM MOST UPPER SHELF, POWER AND DATA WIRE TO BE RUN UP THROUGH STAINLESS TUBE SHELF SUPPORT, PLUMBING TO SUPPLY AND DRAIN TO BE RUN THROUGH SLAB UP INTO CABINET BELOW SINK, POWER FOR LOWBOY MOUNTED IN ADJACENT WALL	38" X 101 1/2" (W/F) X 38"			
F2	1	CUSTOM FABRICATED PREP TABLE OVER A2 LOWBOY WITH PANELS ENCLOSING REFRIGERATION, OPEN SHELVING BELOW CTOP, OVERHEAD SHELVING SUPPORTED ON TUBE SUPPORT + ADJACENT WALL	OWNER	STAINLESS STEEL - METAL 03	WIREMOLD MOUNTED TO UNDERSIDE OF BOTTOM MOST UPPER SHELF, POWER AND DATA WIRE TO BE RUN UP THROUGH STAINLESS TUBE SHELF SUPPORT, OUTLET MOUNTED TO SIDE PANEL FOR REFRIGERATION	38" X 101 1/2" (W/F) X 38"			
F3	1	CUSTOM FABRICATED PREP TABLE OVER A7, A8 LOWBOYS WITH BUILT-IN HAND SINK P1+ CABINET ENCLOSING PLUMBING BELOW, OPEN SHELVING BELOW CTOP	OWNER	STAINLESS STEEL - METAL 03	POWER FOR REFRIGERATION TO BE MOUNTED IN REAR WALL, PLUMBING TO ENTER THROUGH SIDE WALL (REAR WALL IS CONCRETE STEMWALL)	38" X 123 3/4" (W/F) X 38"			
F4	1	CUSTOM FABRICATED EXPO TABLE WITH VERTICAL SLOT FOR TRASH CAN, OPEN SHELVING BELOW CTOP	OWNER	STAINLESS STEEL - METAL 03	CLIENT MAY ELECT TO INSTALL GROMMET IN TOP FOR RECEIPT PRINTER/ETC	38" X 70 1/2" (W/F) X 38"			
F5	1	CUSTOM FABRICATED PREP TABLE WITH OPEN SHELVING BELOW	OWNER	STAINLESS STEEL - METAL 03		38" X 36" (W/F) X 38"			
F6	1	CUSTOM FABRICATED DISH DROP / IN-FEED DISH MACHINE TABLE WITH DOUBLED SIDED GLASS RACK ABOVE DISH DROP, TRASH HOLES W/ KNOCK RINGS	OWNER	STAINLESS STEEL - METAL 03	PLUMBING FOR PRE-RINSE SINK P4 TO BE LOCATED IN REAR WALL		TO BE VERIFIED IN FIELD TO FIT AS-BUILT SPACE		
F7	1	CUSTOM FABRICATED OUT FEED DISH MACHINE TABLE	OWNER	STAINLESS STEEL - METAL 03			TO BE VERIFIED IN FIELD TO FIT AS-BUILT SPACE		
F8	1	CUSTOM FABRICATED WORK TABLE WITH BUILT-IN HAND SINK P1+ WATER STATION WITH DRIP TRAY P6, CABINET ENCLOSING PLUMBING + CARBONATION UNIT A26 BELOW, OPEN SHELVING BELOW CTOP	OWNER	STAINLESS STEEL - METAL 03		38" X 82" X 30"			
F9	1	WORK TABLE WITH BUTCHER BLOCK TOP, OPEN SHELVING BELOW	OWNER	STAINLESS STEEL - METAL 03 BUTCHER BLOCK TOP - CTOP 01		38" X 84" X 48"			
F10	1	(2) CUSTOM FABRICATED SHELVES MOUNTED TO WALL ABOVE WORKSTATION	OWNER	STAINLESS STEEL - METAL 03		N/A X 48" X 18"		REF. A500 SERIES INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS	
F11	1	(2) CUSTOM FABRICATED SHELVES MOUNTED TO WALL ABOVE WORKSTATION	OWNER	STAINLESS STEEL - METAL 03		N/A X 51" X 18"		REF. A500 SERIES INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS	
F12	1	CUSTOM FABRICATED TUBULAR SHELF WITH POT HOOKS	OWNER	STAINLESS STEEL - METAL 03		N/A X 94" (W/F) X 18"		REF. A500 SERIES INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS	
F13	1	CUSTOM FABRICATED WORK TABLE WITH CABINETS BELOW	OWNER	STAINLESS STEEL - METAL 03		TBD			

notes:

revision:

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SCHEDULES - APPLIANCE,
PLUMBING, FABRICATION

date plotted: 26 APRIL 2021
scale: N.T.S.